THRHA
SINGLE FAMILY DWELLING

Douglas, AK

PARTICIPANTS

CLIENT:
TLINGIT-HAIDA REGIONAL HOUSING AUTHORITY
5446 JENKINS DRIVE
JUNEAU, AK 99801
907.780.6868

ARCHITECT / CIVIL ENGINEER:
R&M ENGINEERING-KETCHIKAN, INC.
7180 REVILLA ROAD, SUITE 300
KETCHIKAN, ALASKA 99901
907.225.7917

MECHANICAL ENGINEER:
SAM THORNTON MECHANICAL ENGINEERING
PO BOX 7162
KETCHIKAN, AK 99901
907.220.7849

ELECTRICAL ENGINEER:
EIC ENGINEERS
6927 OLD SEWARD HWY, #200
ANCHORAGE, AK 99518
907.349.9712

SHEET INDEX

CODE REVIEW

PROJECT LOCATION:
TBD

1

IRC 2012 REVIEW

I. TYPE OF CONSTRUCTION (Chapter 6)
V-B
SPRINKLED - NO

II. USE & OCCUPANCY CLASSIFICATION
R-3, RESIDENTIAL

III. OCCUPANCY SEPARATIONS
1-HR SEPARATION BETWEEN GARAGE & LIVING SPACE ABOVE
20 MIN SEPARATION BETWEEN GARAGE & ADJACENT LIVING SPACES

IV. BUILDING AREA
ALLOWED: UL SF/STORY, 3 STORIES
SPRINKLER INCREASE: NONE
TOTAL ALLOWED: UL SF, 3 STORIES
PROPOSED: 2 STORIES @ 866 SF/STORY (1,732 TOTAL SF)

V. BUILDING HEIGHT
ALLOWED: 40'
PROPOSED: 22-1" (+/-)

VI. OCCUPANT LOAD

LOWER LEVEL		
RESIDENTIAL	*969 GROSS SF / 200*	*5*
UPPER LEVEL		
RESIDENTIAL	*969 GROSS SF / 200*	*5*
	TOTAL OCCUPANT LOAD	*10*

LOCATION MAP

ZONING REVIEW

CITY & BOROUGH OF JUNEAU TITLE 49 ZONING REVIEW

LEGAL DESCRIPTION: CHATHAM PLACE LT 1A
PARCEL NUMBER: 2D040-C03-0011

ZONING: Multi-Family (D18)

LOT SIZE: 50,406 SF
COVERAGE:
MAX: 50%
PROPOSED: 3.8% TOTAL (2 BUILDINGS)
BUILDING GROSS AREA: 1,938 SF
BUILDING HEIGHT:
MAXIMUM: 35'
PROPOSED: 22-1" (+/-)
SETBACKS:
MINIMUM:
Front setback off of Crow Hill Drive (west) is 20 feet
Street side setback off of Crow Hill Drive (north) is 13 feet
Street side setback off of Douglas Highway (east) is 13 feet
Side setback (south) is 5 feet.

1

PROPOSED:
VARIES-SEE A100 & CIVIL DRAWINGS

PARKING:
MINIMUM: 2 SPACES PER DWELLING UNIT
PROPOSED: 2 SPACES PER DWELLING UNIT

REVISIONS:
Rev #1: 8.28.23

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

DRAWN BY: NMG
CHECKED BY: NMG
DATE: 3.6.23
PROJECT #: 222321.10

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STATE OF ALASKA
49 TH
NYCOLE M. GIZINSKI
120569
3.6.23
REGISTERED PROFESSIONAL ARCHITECT

SHEET DESCRIPTION:
Cover Sheet

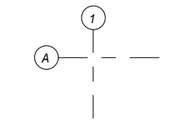
G100

SHEET:
01 *of* **28**

ARCHITECTURAL ABBREVIATIONS

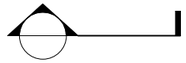
AB	ANCHOR BOLT
ABV	ABOVE
ACOUS	ACOUSTICAL
ACT	ACOUSTICAL CEILING TILE
AD	AREA DRAIN
ADDL	ADDITIONAL
ADJ	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AFS	ABOVE FINISHED SLAB
AL	ALUMINUM
ALT	ALTERNATE
AP	ACCESS PANEL
APPROX	APPROXIMATE(LY)
ARCH	ARCHITECT(URAL)
ASPH	ASPHALT
AUTO	AUTOMATIC
BD	BOARD
BKG	BACKING
BLDG	BUILDING
BLKG	BLOCKING
BLW	BELOW
BOT	BOTTOM
BRKT	BRACKET
BSMT	BASEMENT
BTW	BETWEEN
BURS	BUILT UP ROOFING SYSTEM
CAB	CABINET
CB	CATCH BASIN
CCTV	CLOSED CIRCUIT TELEVISION
CG	CORNER GUARD
CEM	CEMENT
CER	CERAMIC
CER TILE	CERAMIC TILE
CL	CENTERLINE
CLG	CEILING
CLJ	CONTROL JOINT
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CNTR	COUNTER
CO	CASED OPENING
CONC	CONCRETE
CONF	CONFERENCE
CONN	CONNECTION
CONSTR	CONSTRUCTION
CONT	CONTINUOUS
CORR	CORRIDOR
CRPT	CARPET
CSWK	CASEWORK
CT	CARPET TILE
CUST	CUSTOM
CW	COLD WATER
DBL	DOUBLE
DEMO	DEMOLISH
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIFF	DIFFUSER
DIM	DIMENSION
DIM PT	DIMENSION POINT
DISP	DISPENSER
DIST	DISTANCE
DLV	DOOR LOUVER
DMPF	DAMPROOFING
DN	DOWN
DR	DRAIN
DS	DOWNSPOUT
DT	DRAIN TILE
DWG	DRAWING
DWGS	DRAWINGS
DWR	DRAWER
(E)	EXISTING
E	EAST
EA	EACH
ECAB	ELECTRICAL CABINET
EG	EDGE GUARD
EIFS	EXTERIOR INSULATION FINISH SYSTEM
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATION
EMER	EMERGENCY
ENCL	ENCLOSURE
ENGR	ENGINEER
EO	ELECTRICAL OUTLET
EQL SP	EQUALLY SPACED
EQUIP	EQUIPMENT
EQUIV	EQUIVALENT
EXP	EXPANSION
EXPO	EXPOSED
EXIST	EXISTING
EXT	EXTERIOR
F/F	FACE TO FACE
F.F	FINISH FLOOR
FA	FIRE ALARM
FBD	FIBERBOARD
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FND	FOUNDATION
FDV	FIRE DEPARTMENT VALVE
FE	FIRE EXTINGUISHER
FEB	FIRE EXTINGUISHER BRACKET
FEC	FIRE EXTINGUISHER CABINET
FHY	FIRE HYDRANT
FIN	FINISH
FIN GR	FINISH GRADE
FL	FLOOR(ING)
FLASH	FLASHING
FLEX	FLEXIBLE
FLR SK	FLOOR SINK
FLUOR	FLUORESCENT
FNR	FEMININE NAPKIN RECEPTACLE
FNTD	FEMININE NAPKIN-TAMPON DISPENSER
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MASONARY
FOS	FACE OF STUD
FRPF	FIREPROOFING
FRZ	FREEZER
FSB	FOLDING SHOWER BENCH
FSTNR	FASTENER
FT	FOOT, FEET
FTG	FOOTING
FURN	FURNITURE
FURR	FURRING
FUS	FOLDING UTILITY SEAT
FUT	FUTURE
FXTR	FIXTURE
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GL	GLASS
GL BLK	GLASS BLOCK
GLULAM	GLUE LAMINATED
GLZ	GLAZING
GND	GROUND
GR	GRADE, GRADING
GRV	GRAVEL
GYP BD	GYPSUM BOARD
H	HIGH
HB	HOSE BIB
HC	HOLLOW CORE
HCP	HANDICAPPED
HD	HEAD
HDBD	HARDBOARD
HDWE	HARDWARE
HM	HOLLOW METAL
HNDRL	HANDRAIL
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATION, AIR CONDITIONING, & COOLING
HW	HOT WATER
ID	INSIDE DIAMETER
INCAND	INCANDESCENT
INCL	INCLUDING
INFO	INFORMATION
INSUL	INSULATION
INT	INTERIOR
JAN	JANITOR
JB	JUNCTION BOX
JT	JOINT
KIT	KITCHEN
KPL	KICK PLATE
KS	KNEE SPACE
LAB	LABORATORY
LAM	LAMINATE
LAV	LAVATORY
LB	POUND
LF	LINEAR FOOT
LG	LENGTH
LH	LEFT HAND
LIN	LINEAR
LKR	LOCKER
LT	LIGHT
LT WT	LIGHT WEIGHT
LTG	LIGHTING
MACH	MACHINE
MAN	MANUAL
MATL	MATERIAL
MAX	MAXIMUM
MC	MEDICINE CABINET
MECH	MECHANICAL
MEMB	MEMBRANE
MET	METAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MOD	MODULAR
MTD	MOUNTED
MTG	MOUNTING
MULL	MULLION
(N)	NEW
N	NORTH
NA	NOT APPLICABLE
NAT	NATURAL
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NRC	NOISE REDUCTION COEFFICIENT
NTS	NOT TO SCALE
OA	OVERALL
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFCI	OWNER FURNISHED-CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED-OWNER INSTALLED
OH	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
OVHD	OVERHEAD
PBD	PARTICLE BOARD
PCF	POUNDS PER CUBIC FOOT
PERF	PERFORATED
PERIM	PERIMETER
PERM	PERMANENT
PERP	PERPENDICULAR
PH	PANIC HARDWARE
PL	PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLAT	PLATFORM
PLBG	PLUMBING
PLF	POUNDS PER LINEAL FOOT
PLYWD	PLYWOOD
PNL	PANEL
PREFAB	PREFABRICATED
PRKG	PARKING
PROJ	PROJECT
PROP	PROPERTY
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	POINT
PTD	PAPER TOWEL DISPENSER
PTD/R	PAPER TOWEL DISPENSER W/ RECEPTACLE
PTR	PAPER TOWEL RECEPTACLE
PVMT	PAVEMENT
PWR	POWER
QT	QUARRY TILE
QTR	QUARTER
QTY	QUANTITY
R	RISER
RA	RETURN AIR
RAD	RADIUS
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REF	REFRIGERATOR
REINF	REINFORCED
REQD	REQUIRED
RESIL	RESILIENT
RET	RETURN
REV	REVISION
RH	RIGHT HAND
RM	ROOM
RO	ROUGH OPENING
ROW	RIGHT OF WAY
S	SOUTH
SA	SUPPLY AIR
SB	SPLASH BLOCK
SC	SOLID CORE
SCD	SEAT COVER DISPENSER
SCHED	SCHEDULED
SCR	SHOWER CURTAIN ROD
SD	SOAP DISPENSER
SECT	SECTION
SEP	SEPARATION
SF	SQUARE FOOT
SHR	SHOWER
SHT	SHEET(ING)
SHV	SHELVES, SHELVING
SIM	SIMILAR
SK	SINK
SP	SPACE, SPACING
SPEC	SPECIFICATION
SPKLR	SPRINKLER
SPKR	SPEAKER
SQ	SQUARE
SQ IN	SQUARE INCH
SST	STAINLESS STEEL
ST	STREET
STAG	STAGGERED
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP CLG	SUSPENDED CEILING
SERV	SERVICE
SYM	SYMBOL
T	TREAD
T&B	TOP & BOTTOM
T&G	TONGUE & GROOVE
TB	TOWEL BAR
TEL	TELEPHONE
TEMP	TEMPORARY
THERM	THERMAL
THK	THICK, THICKNESS
THRES	THRESHOLD
THRU	THROUGH
TOL	TOLERANCE
TYP	TYPICAL
UC	UNDER COUNTER
UNFIN	UNFINISHED
UON	UNLESS OTHERWISE NOTED
UR	URINAL
UTIL	UTILITY
VAC	VACUUM
VB	VINYL BASE
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VF	VERIFY IN FIELD
VNR	VENEER
VOL	VOLUME
VWC	VINYL WALL COVERING
W	WEST
W/	WITH
W/O	WITHOUT
W/W	WALL TO WALL
WC	WATER CLOSET
WD	WOOD
WDW	WINDOW
WF	WIDE FLANGE
WHCH	WHEEL CHAIR
WO	WHERE OCCURS
WR	WATER RESISTANT
WSCT	WAINSCOTING
WT	WEIGHT
WTRPRF	WATERPROOFING
WWF	WELDED WIRE FABRIC
XFMR	TRANSFORMER

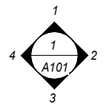
DRAWING SYMBOLS



GRID LINES

DETAIL BUBBLE


BUILDING SECTION



INTERIOR ELEVATION SYMBOL

WINDOW TYPE

DOOR TYPE

WALL TYPE

EQUIPMENT SYMBOL

ROOM NUMBER

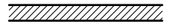

DATUM POINT, ELEVATION

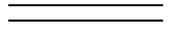

MATCH LINE


REVISION CLOUD

CENTERLINE, FOR DIMENSIONING

PROPERTY LINE


NEW WALL CONSTRUCTION


EXISTING WALL CONSTRUCTION


DEMOLITION

REVISIONS:

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

DRAWN BY: NMG
CHECKED BY: NMG
DATE: 3.6.23
PROJECT #: 222321.10

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STATE OF ALASKA
49 TH
NICOLE M. GIZINSKI
120569
3.6.23
REGISTERED PROFESSIONAL ARCHITECT

SHEET DESCRIPTION:
Abbreviations & Symbols

G101

SHEET:
02 *of* **28**

GENERAL NOTES

COMPLY WITH ALL PROVISIONS OF THE INTERNATIONAL CODES AS ADOPTED BY THE CITY & BOROUGH OF JUNEAU-DOUGLAS AND THE STATE OF ALASKA.

1. *ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, INCLUDING THE LATEST ADOPTED EDITIONS OF THE IBC, IFC, IMC, IPC, IRC, UFC, UMC, UPC, NEC, AND ADA ACCESSIBILITY GUIDELINES.*

2. *THE ARCHITECTURAL DRAWINGS ARE A PART OF LARGER SET OF DRAWINGS WHICH, WHEN COMPLETE, CONSISTS OF ALL DRAWINGS LISTED BY THE INDEX OF DRAWINGS. THE WORK DESCRIBED BY THE DRAWINGS OF ANY ONE DISCIPLINE MAY BE AFFECTED BY THE WORK DESCRIBED ON DRAWINGS OF ANOTHER DISCIPLINE AND MAY REQUIRE REFERENCE TO THE DRAWINGS OF ANOTHER DISCIPLINE. PARTIAL SETS OF DRAWINGS ARE INCOMPLETE AND SHOULD NOT BE DISTRIBUTED OR UTILIZED BY THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND COORDINATE THE WORK OF ALL SUBCONTRACTORS, TRADES, AND SUPPLIERS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BEFORE COMMENCING CONSTRUCTION, AND TO ASSURE THAT ALL PARTIES ARE AWARE OF ALL REQUIREMENTS, REGARDLESS OF WHERE THE REQUIREMENTS OCCUR IN THE CONTRACT DOCUMENTS., WHICH MIGHT AFFECT THE WORK OF THAT PARTY.*

3. *CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND BUILDING DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK. ANY VARIATION FROM THE CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE REPORTED TO THE OWNER OR ARCHITECT FOR RESOLUTION PRIOR TO CONSTRUCTION.*

4. *CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.*

5. *WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS ARE TO CENTERLINE OF COLUMNS OR TO FACE OF FRAMING, UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS "CLEAR" ARE TO FACE OF FINISH MATERIALS.*

6. *REFER TO THE STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL, LANDSCAPE AD PLUMBING DRAWINGS FOR THE DETAILED DESIGN OF STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL, LANDSCAPE AND PLUMBING SYSTEMS, OF WHICH PORTIONS MAY BE SHOWN ON THE ARCHITECTURAL DRAWINGS.*

7. *FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE FLOOR SLAB OR WOOD SUB-FLOOR, UNLESS OTHERWISE NOTED.*

8. *CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACES, UNLESS OTHERWISE NOTED.*

9. *PROVIDE FIRE BLOCKING, DRAFT STOPS, AND FIRE STOPS PER IBC SECTION 717.*

10. *PROVIDE AN 2A 10BC FIRE EXTINGUISHER PER PLANS.*

11. *WINDOWS IN OCCUPIED, HEATED AREAS OF BUILDING TO BE DOUBLE PANE, INSULATED GLAZING.*

12. *SAFETY GLAZING: WIRED, TEMPERED, AND LAMINATED SAFETY GLASS MUST MEET UBC STANDARDS. GLAZING IN OR ADJACENT TO DOORS (12") AND GLAZING LESS THAN 18" ABOVE FLOOR, AND OTHER HAZARDOUS LOCATIONS PER UBC SEC. 2406.*

13. *MINIMUM INSULATION REQUIREMENTS IN OCCUPIED, HEATED AREAS OF BUILDING, UON:*

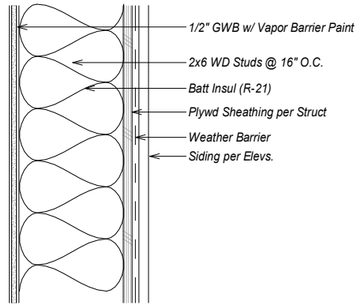
ROOF/CEILING	*R49*
EXT. WALLS	*R21*
FLOORS & SOFFITS	*R30*
HOT WATER PIPES	*1/2"*

ALLOW 2' MIN. AIR SPACE OVER INSULATION WHEN BATTS ARE USED BETWEEN RAFTERS & TRUSSES. SEAL ALL TEARS AND JOINTS WITH TAPE. ALL ROOF INSULATION APPLIED DIRECTLY TO EXTERIOR FRAMING MEMBERS SHALL BE PROVIDED WITH VAPOR BARRIER ON HEATED SIDE. ALL OPENINGS (DOORS, WINDOWS, ETC.) SHALL BE CAULKED, SEALED, OR WEATHERSTRIPPED.

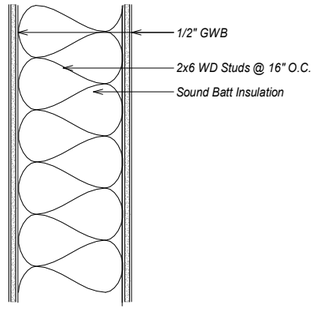
SCOPE OF WORK

Construction of a new 2-Story, 1732 SF single family with attached garage.

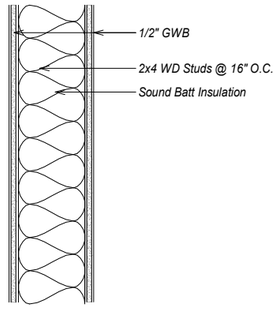
WALL TYPES



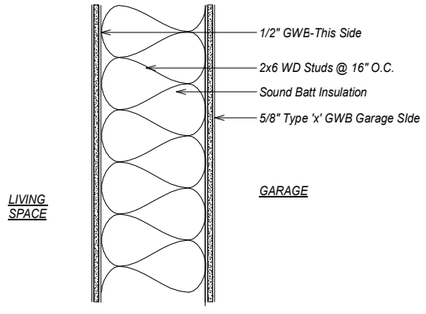
1 Typ. Exterior Wall



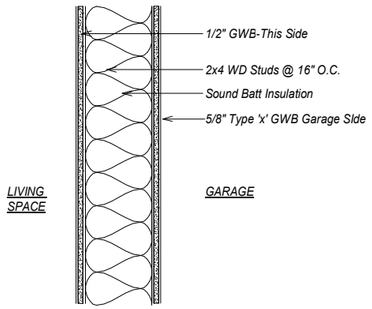
2 Typ. Interior Sound Wall (2x6)



3 Typ. Interior Sound Wall (2x4)



4 Typ. Rated Interior Sound Wall (2x6)



5 Typ. Interior Rated Sound Wall (2x4)

REVISIONS:

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

DRAWN BY: NMG
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DATE: 3.6.23
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STATE OF ALASKA 49TH
NYCOLE M. GIZINSKI
120569
3.6.23
REGISTERED PROFESSIONAL ARCHITECT

SHEET DESCRIPTION:
Notes & Wall Types

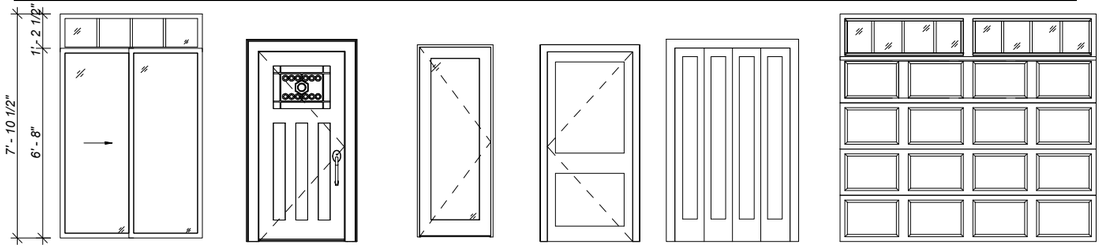
A001

SHEET:
18 *of* **28**

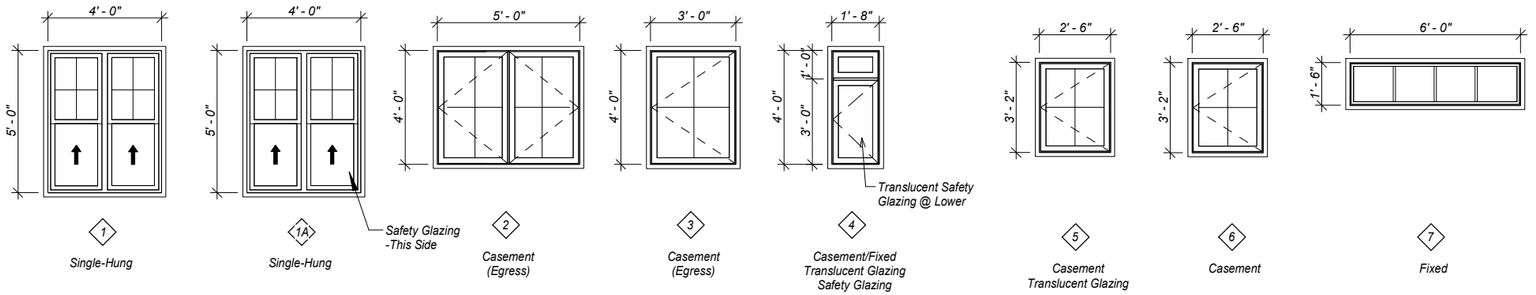
Door Schedule

Type Mark	Width	Height	Thickness	Door Type	Door Material	Frame Material	Operation	Fire Rating	Hardware	Description
1	3' - 0"	6' - 8"	0' - 1 3/4"	B	WD/SC	Wood	LH		HDW-1	Insulated Door w/ Relite
2	2' - 6"	6' - 8"	0' - 1 3/8"	D	WD/SC	Wood	RH		HDW-3	
3	3' - 0"	6' - 8"	0' - 1 3/4"	D	WD/SC	Wood	LHR	20 Min	HDW-1	
4	9' - 0"	8' - 0"	0' - 2"	F	Alum	Alum				Insulated Overhead Door w/ Relites
5	3' - 0"	6' - 8"	0' - 1 3/4"	D	WD/SC	Wood	RH		HDW-2	
6	3' - 0"	6' - 8"	0' - 1 3/8"	D	WD/SC	Wood	LH		HDW-2	
7	2' - 6"	6' - 8"	0' - 1 3/8"	D	WD/SC	Wood	LH		HDW-2	
9	5' - 0"	6' - 8"	0' - 1 3/4"	A	Vinyl	Vinyl	Sliding			Insulated Sliding Patio Door w/ Transom
10	5' - 0"	6' - 8"	0' - 1 3/4"	E	Wood	Wood			HDW-4	Bi-Fold Door Pair
11	2' - 6"	6' - 8"	0' - 1 3/8"	D	WD/SC	Wood	LHR		HDW-2	

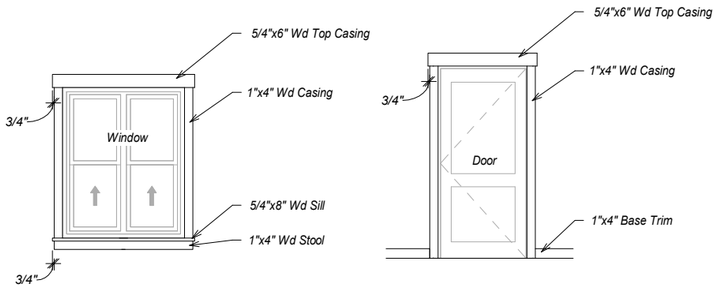
DOOR TYPES



WINDOW TYPES



WINDOW, DOOR, BASE TRIM



DOOR HARDWARE

A. General:
1. Furnish finish hardware with suitable stainless steel fasteners for a complete installation.
2. Products complete and of equal quality and finish.

B. Locks, Latches, & Handles: ANSI A156.2-89 or A156.13-94, keying on schedule; furnish with lever handles, two keys for each lock and two master keys.

TYPE	ITEM	Manuf.	Model #	Remarks
L1	Entrance Lock	Kwikset	690BL 15 CP K6	Entrance Lock with Deadbolt
L2	Privacy Lock	Kwikset	300BL 15 6AL RC	
L3	Passage	Kwikset	200BL 15 6AL RC	
L4	Bi-Fold Door Handle	Prime-Line	N 7372	

C. Stops: ANSI A156.16-89.

TYPE	ITEM	Manuf.	Model #	Remarks
S1	Door Stops	Everbilt	15586	

D. Thresholds: ANSI A156.21 & ANSI A117.1.2013

TYPE	ITEM	Manuf.	Model #	Remarks
T1	Saddle	Pemco	TBD	

E. HARDWARE SCHEDULE

ITEM	TYPE
HDW-1. Single Locked Entrance Door	
1 Lock	L1
1 Threshold	T1
1 Set Weatherstrip	W1
1 Door Stop	S1
HDW-2. Bathroom/Bedroom Door with Privacy Lock	
1 Privacy Lock	L2
1 Door Stop	S1
HDW-3. Passage Door	
1 Latch	L3
1 Door Stop	S1
HDW-4. Bi-fold Door	
1 Knob	L6

REVISIONS:

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

DRAWN BY: NMG
CHECKED BY: NMG
DATE: 3.6.23
PROJECT #: 222321.10

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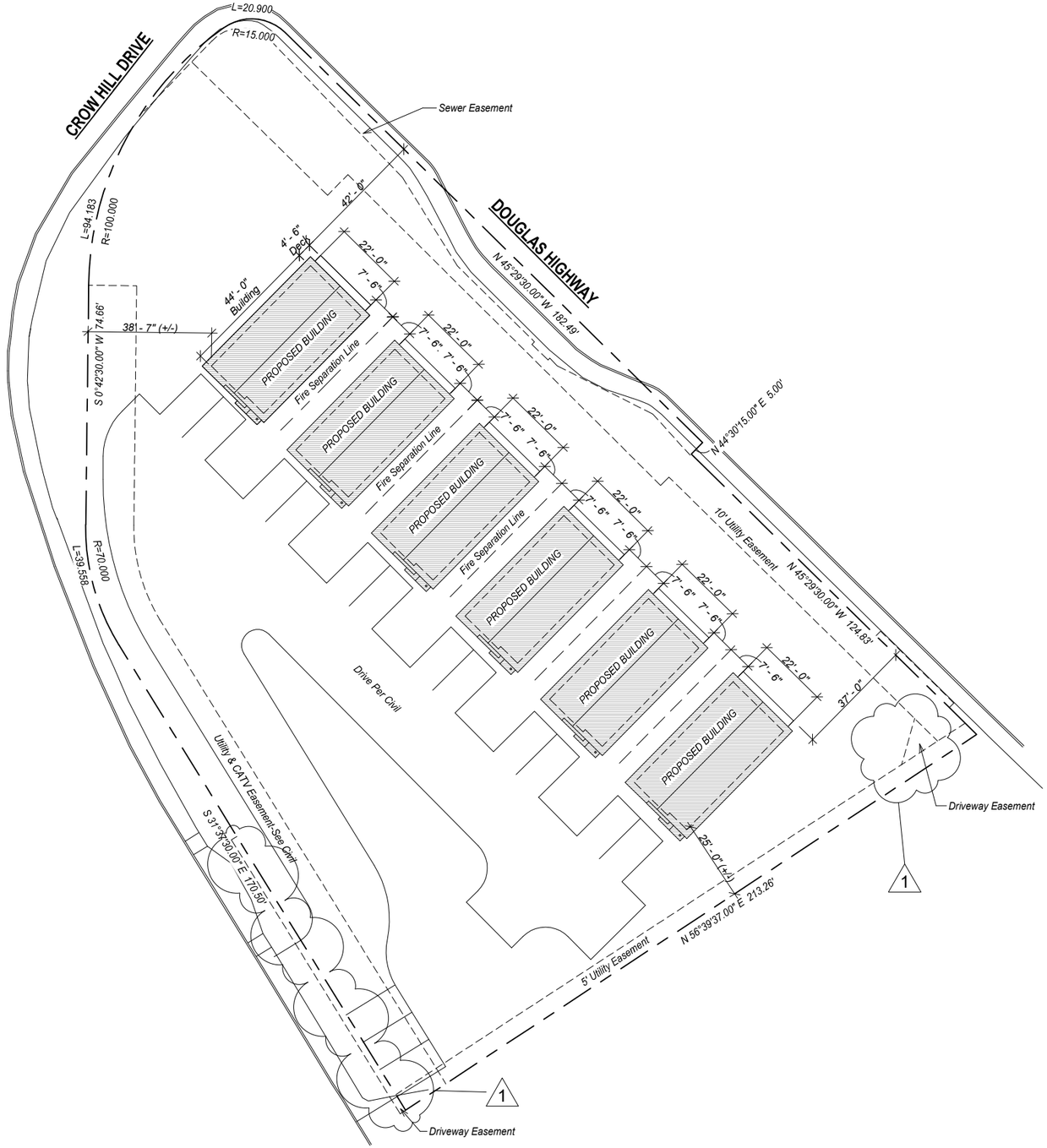
120589
3.6.23
REGISTERED PROFESSIONAL ARCHITECT

SHEET DESCRIPTION:
Schedules

A002

SHEET:
19 of 28



1 Site Plan
1" = 40'-0"

REVISIONS:

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

DRAWN BY: NMG
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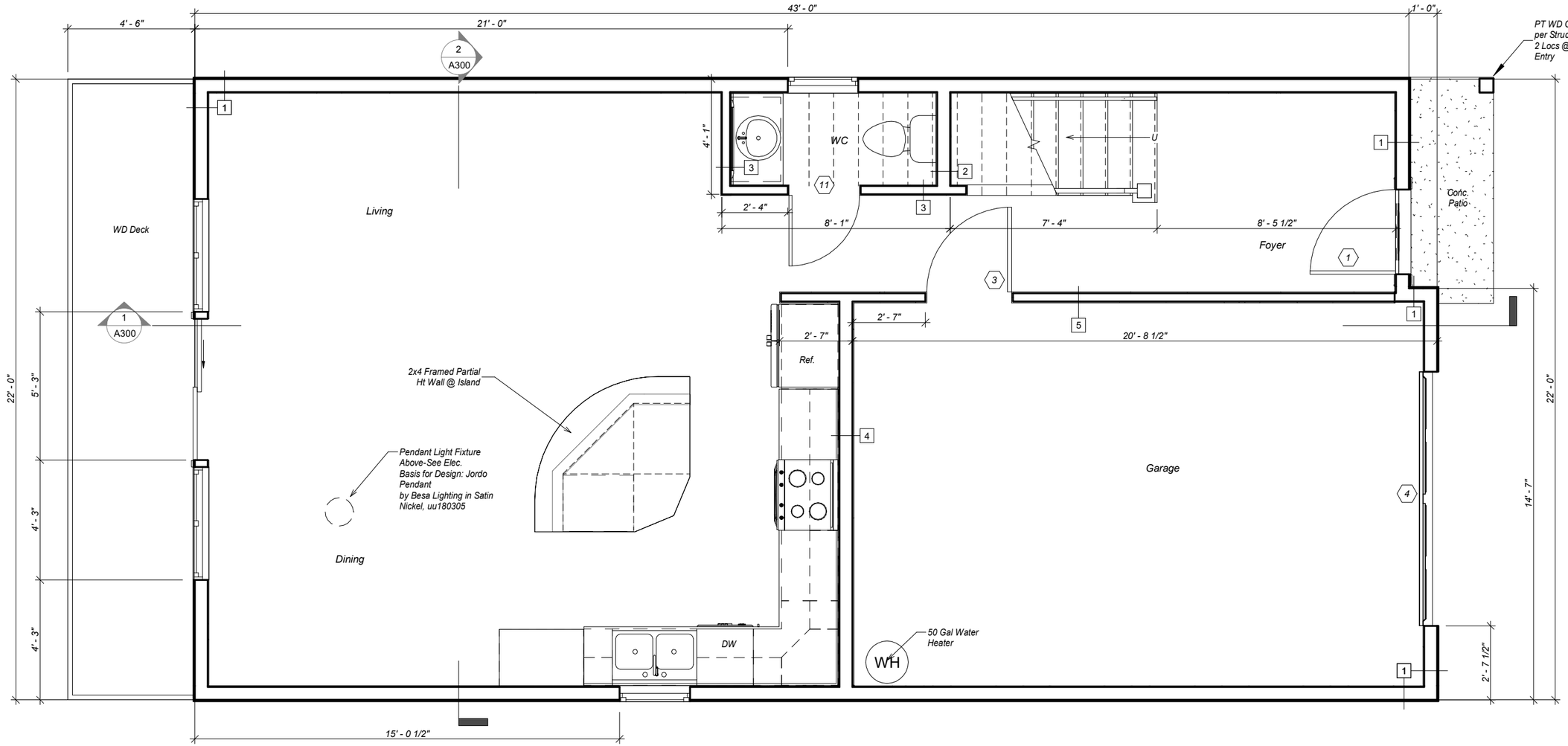
SHEET DESCRIPTION:
Architectural Site Plan

A100

SHEET:
20 *of* **28**



1 Main Level
1/4" = 1'-0"

PROJECT NORTH

REVISIONS:
REV #5 3.17.22

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

DRAWN BY: NMG
CHECKED BY: NMG
DATE: 3.6.23
PROJECT #: 222321.10

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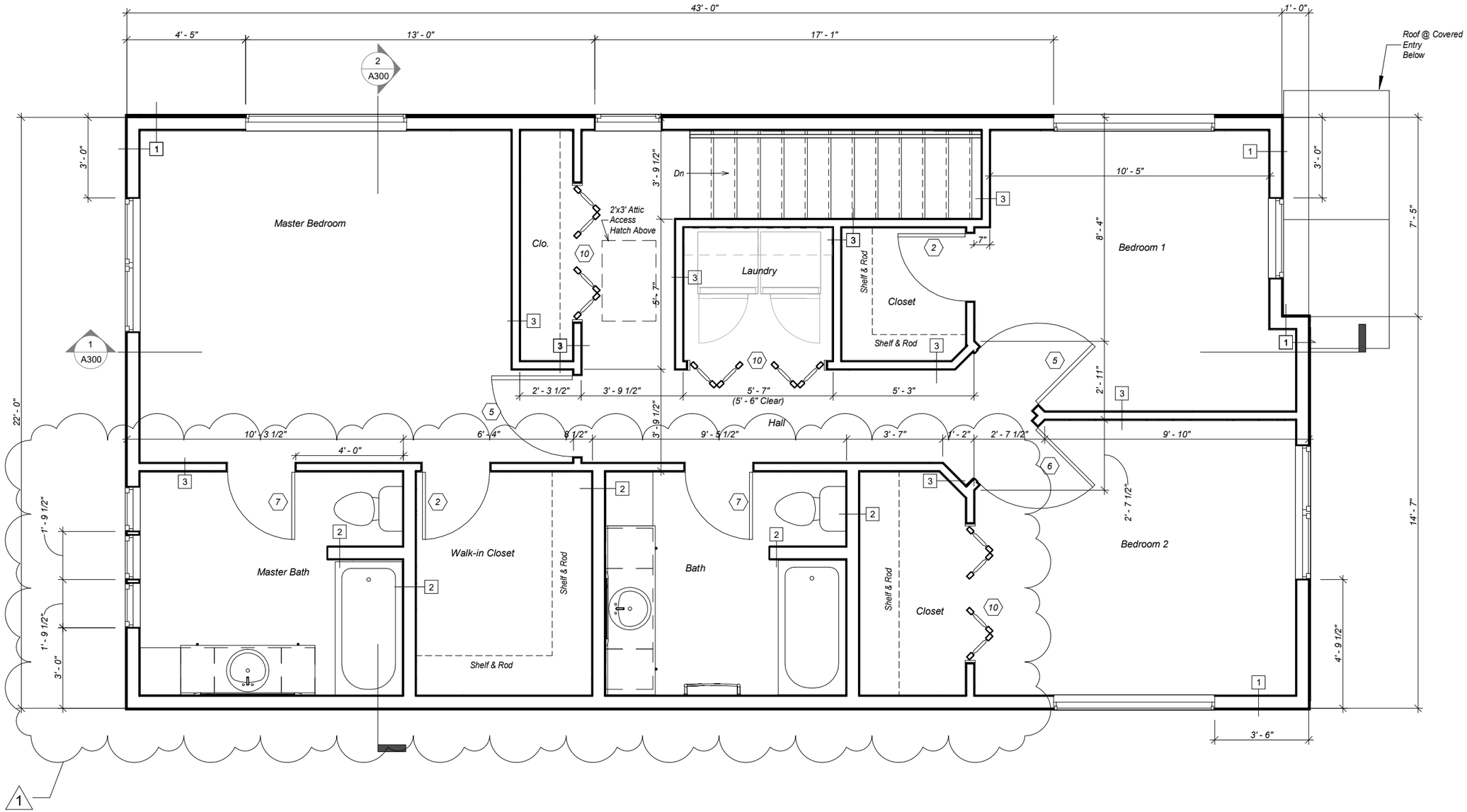
SHEET DESCRIPTION:
Main Floor Plan

A200

SHEET:
21 of **28**



1 Upper Level

1/4" = 1'-0"

Project North

REVISIONS:
REV #1: 5.8.24

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

DRAWN BY: NMG
CHECKED BY: NMG
DATE: 3.6.23
PROJECT #: 222321.10

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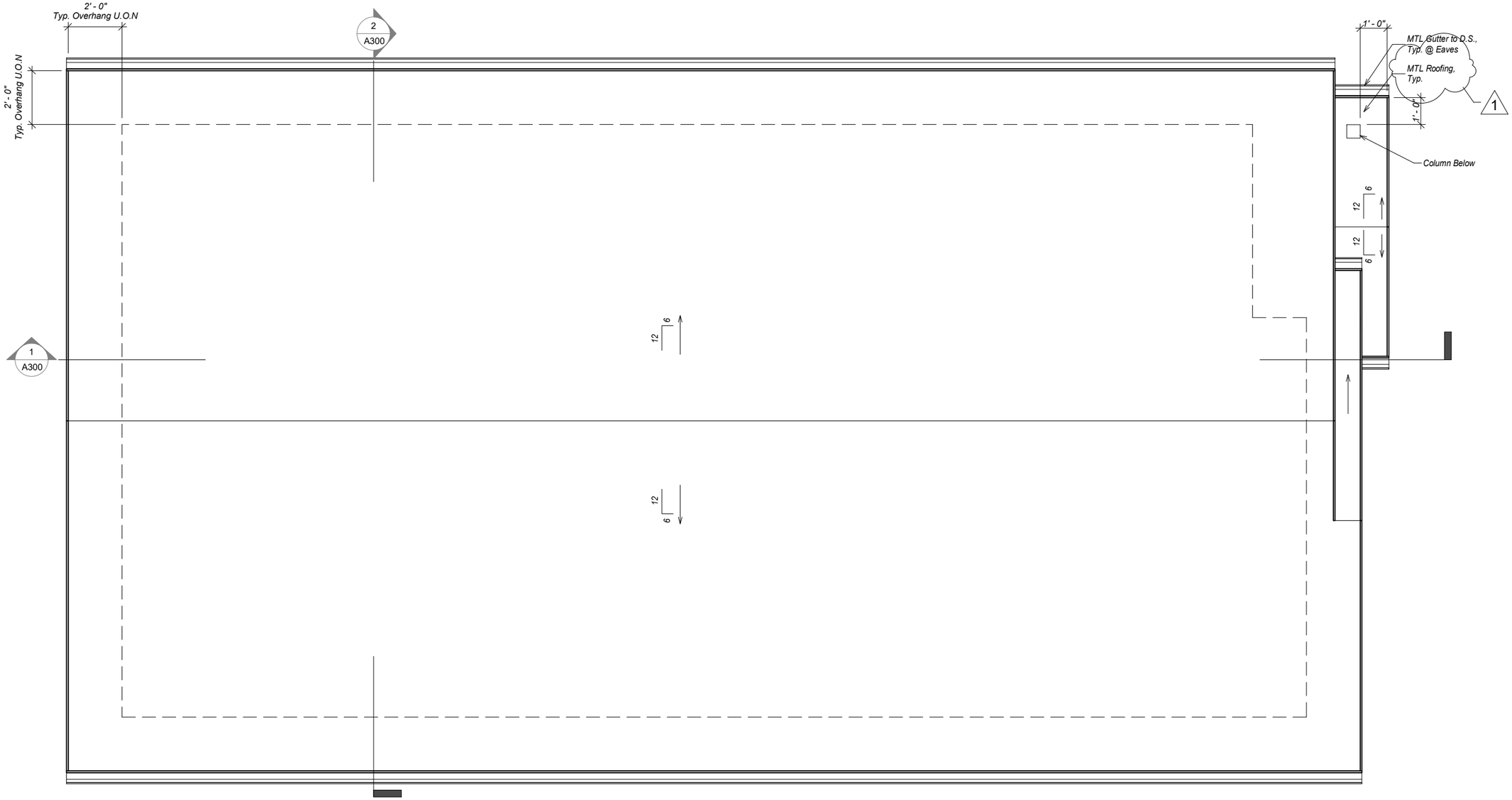
SHEET DESCRIPTION:
Upper Floor Plan

A201

SHEET:
22 *of* **28**



1 Roof Plan

1/4" = 1'-0"

Project North

MTL ROOFING MATERIAL BASIS FOR DESIGN:
MANUFACTURER: SKYLINE
COLOR: "SLATE GREY"

1

REVISIONS:
REV #1: 5.8.24

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

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DATE: 3.6.23
PROJECT #: 222321.10

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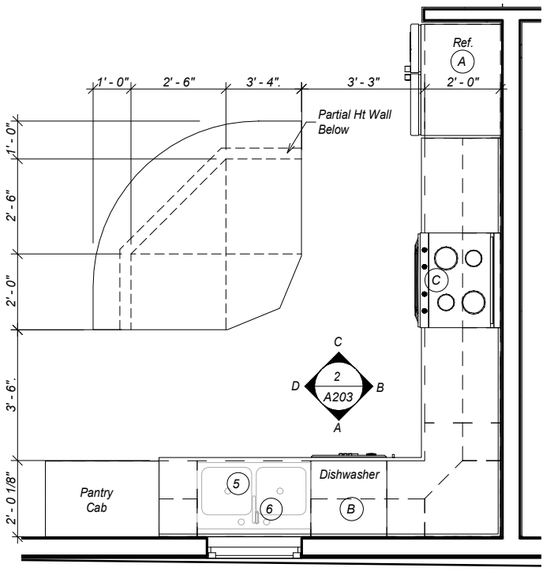
SHEET DESCRIPTION:
Roof Plan

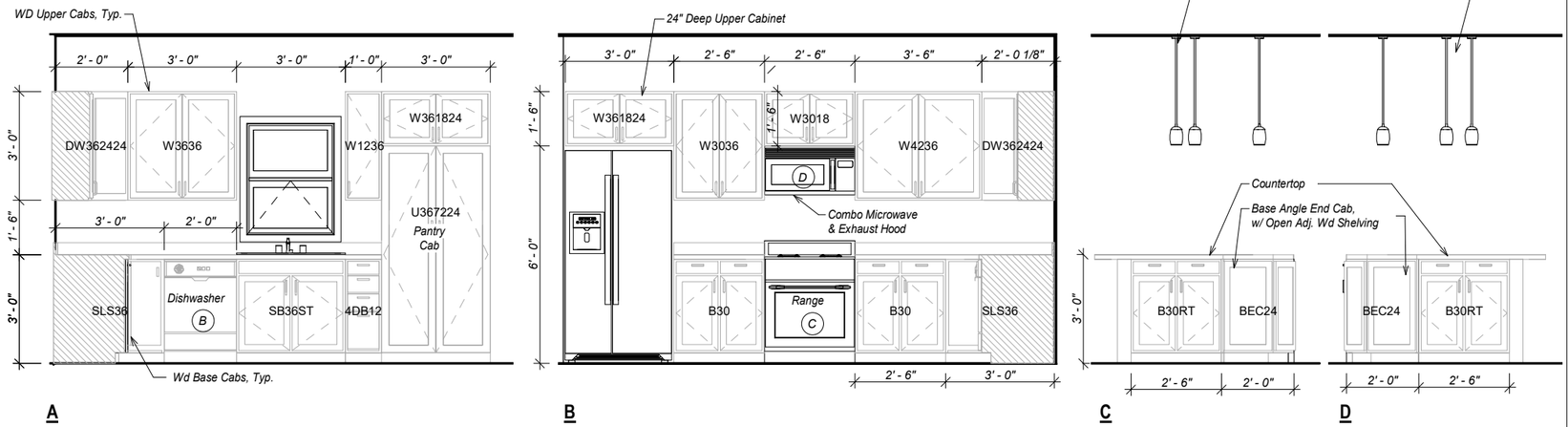
A202

SHEET:
23 *of* **28**



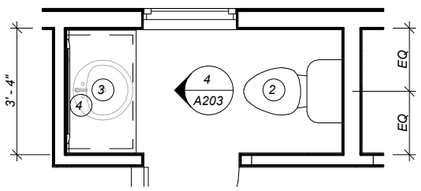
1 Kitchen Plan

1/4" = 1'-0"



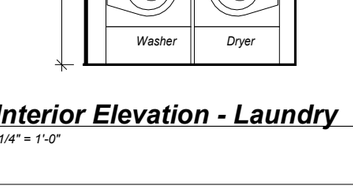
2 Interior Elevations - Kitchen

1/4" = 1'-0"



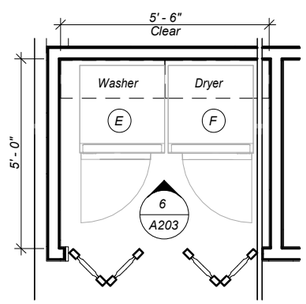
3 WC Plan

1/4" = 1'-0"



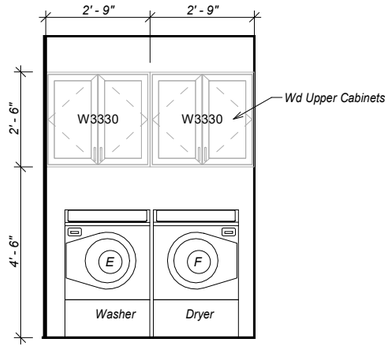
4 Interior Elevation - WC

1/4" = 1'-0"



5 Laundry Plan

1/4" = 1'-0"



6 Interior Elevation - Laundry

1/4" = 1'-0"

Plumbing Fixture Schedule

Type Mark	Description	Manufacturer	Model	Remarks
1	Tub/Shower Unit	Best Bath Systems	4BTS6030A17.VS	Include Delta Tub/Shower Valve Package & Best Bath Shower Curtain & Rod
2	Toilet	Kohler	K-78276	
3	Sink, Undermount	Kohler	K-20000	
4	Vanity Faucet	Delta	559HA-SS-DST	
5	Sink, Undermount	Kohler	K-75791-1	
6	Faucet	Delta	9178-SP-DST	
7	Heated Towel Bar	Anzzi	TW-AZ0180BN	

Appliance Schedule

Type Mark	Description	Manufacturer	Model
A	Refrigerator	GE	GSS25GSHSS
B	Dishwasher	GE	GDF510PSRSS
C	30" Range, Electric	GE	JBS360RMSS
D	Combo Microwave/Range Hood	GE	PSA9120SFSS
E	Washer	GE	GFW550SPNDG
F	Dryer	GE	GFD55ESPNDG

REVISIONS:

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Single Family Dwelling

STATUS:
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PROJECT #: 222321.10

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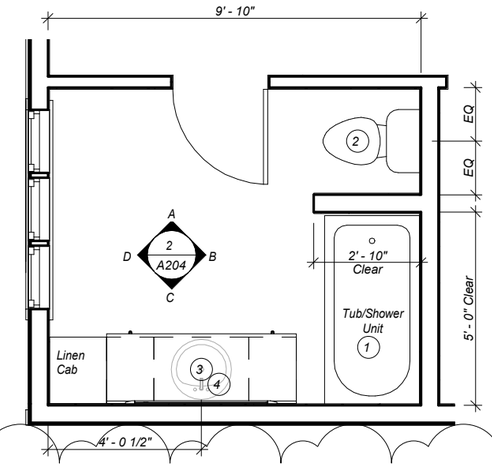
3.6.23
REGISTERED PROFESSIONAL ARCHITECT

SHEET DESCRIPTION:
Enlarged Plans

A203

SHEET:
24 of **28**



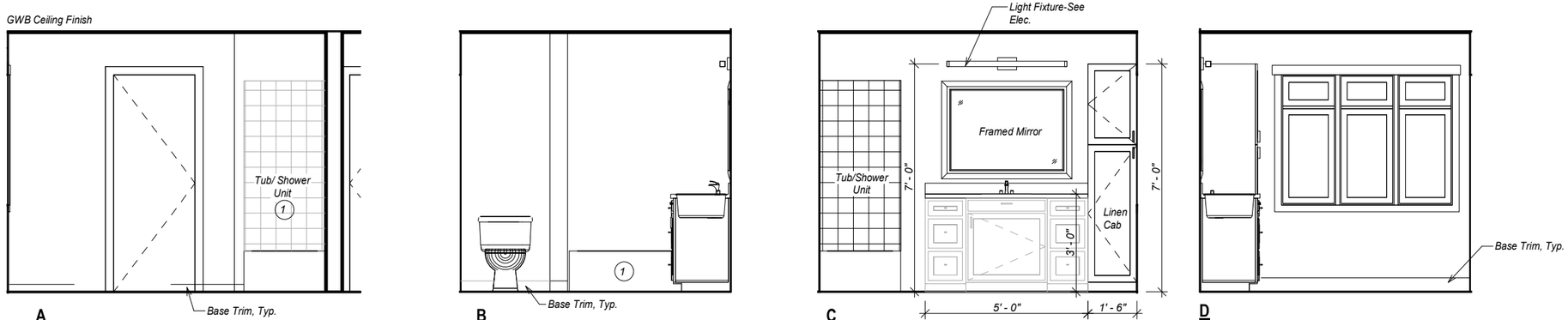
1 **Master Bath Plan**
1/4" = 1'-0"

Plumbing Fixture Schedule

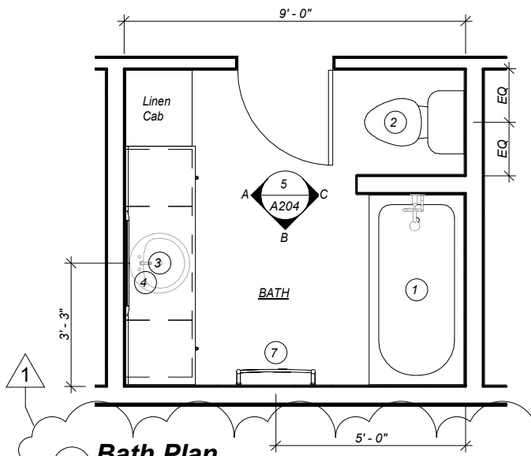
Type Mark	Description	Manufacturer	Model	Remarks
1	Tub/Shower Unit	Best Bath Systems	4BTS6030A17.VS	Include Delta Tub/Shower Valve Package & Best Bath Shower Curtain & Rod
2	Toilet	Kohler	K-78276	
3	Sink, Undermount	Kohler	K-20000	
4	Vanity Faucet	Delta	559HA-SS-DST	
5	Sink, Undermount	Kohler	K-75791-1	
6	Faucet	Delta	9178-SP-DST	
7	Heated Towel Bar	Anzzi	TW-AZ0180BN	

Appliance Schedule

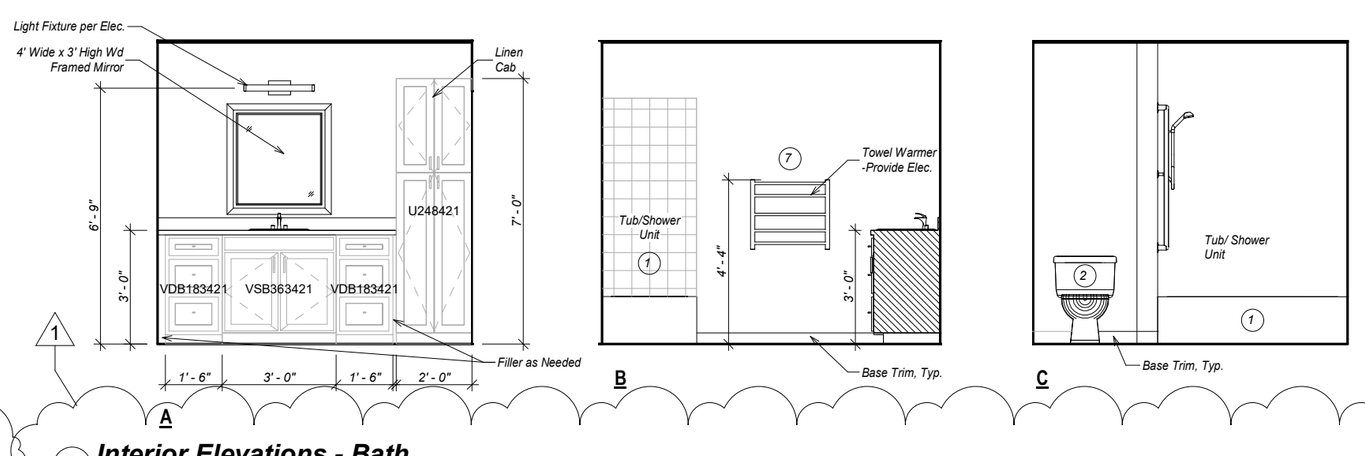
Type Mark	Description	Manufacturer	Model
A	Refrigerator	GE	GSS25GSHSS
B	Dishwasher	GE	GDF510PSRSS
C	30" Range, Electric	GE	JBS360RMSS
D	Combo Microwave/Range Hood	GE	PSA9120SFSS
E	Washer	GE	GFW550SPNDG
F	Dryer	GE	GFD55ESPNDG



2 **Interior Elevations - Master Bath**
1/4" = 1'-0"



3 **Bath Plan**
1/4" = 1'-0"



4 **Interior Elevations - Bath**
1/4" = 1'-0"

REVISIONS:
REV #1: 5.8.24

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

DRAWN BY: NMG
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DATE: 3.6.23
PROJECT #: 222321.10

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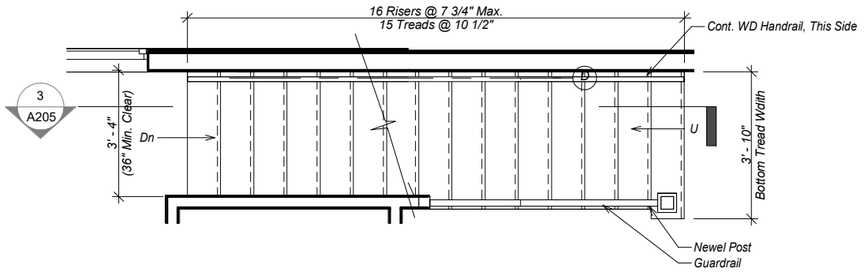
SHEET DESCRIPTION:
Enlarged Plans

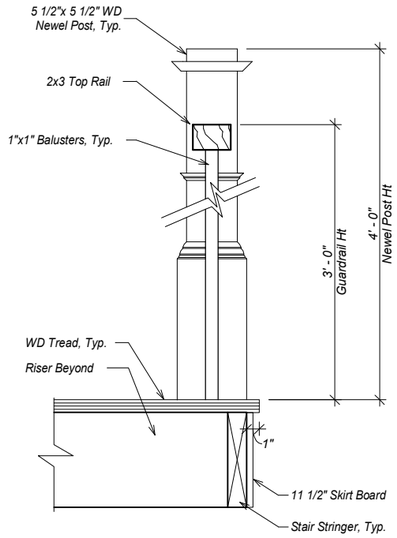
A204

SHEET:
25 *of* **28**



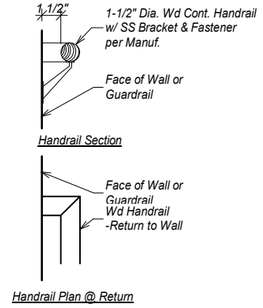
1 Stair Plan

1/4" = 1'-0"



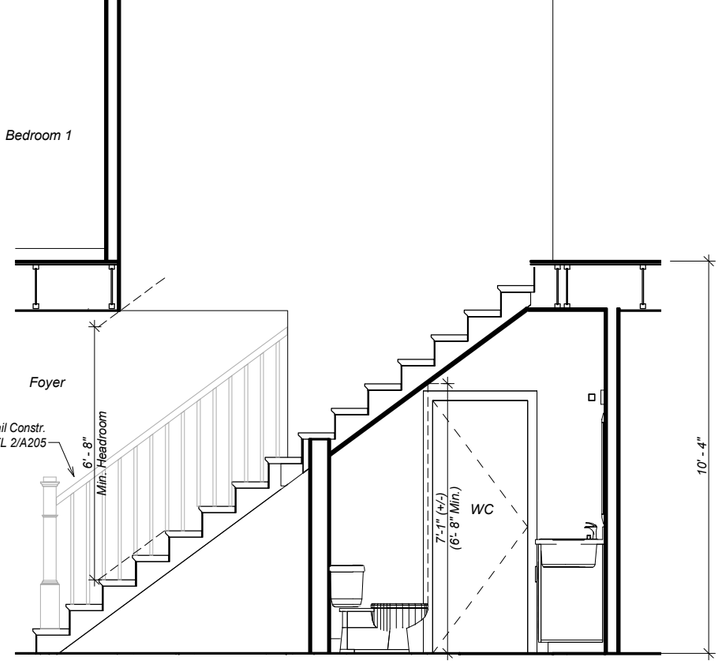
2 Guard Rail Detail

1" = 1'-0"



5 Handrail Detail

1" = 1'-0"



3 Stair Section

1/4" = 1'-0"

4 Typ. Stair Detail

3/4" = 1'-0"

REVISIONS:
REV #5 3.17.22

THRHA
Single Family Dwelling

STATUS:
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DATE: 3.6.23
PROJECT #: 222321.10

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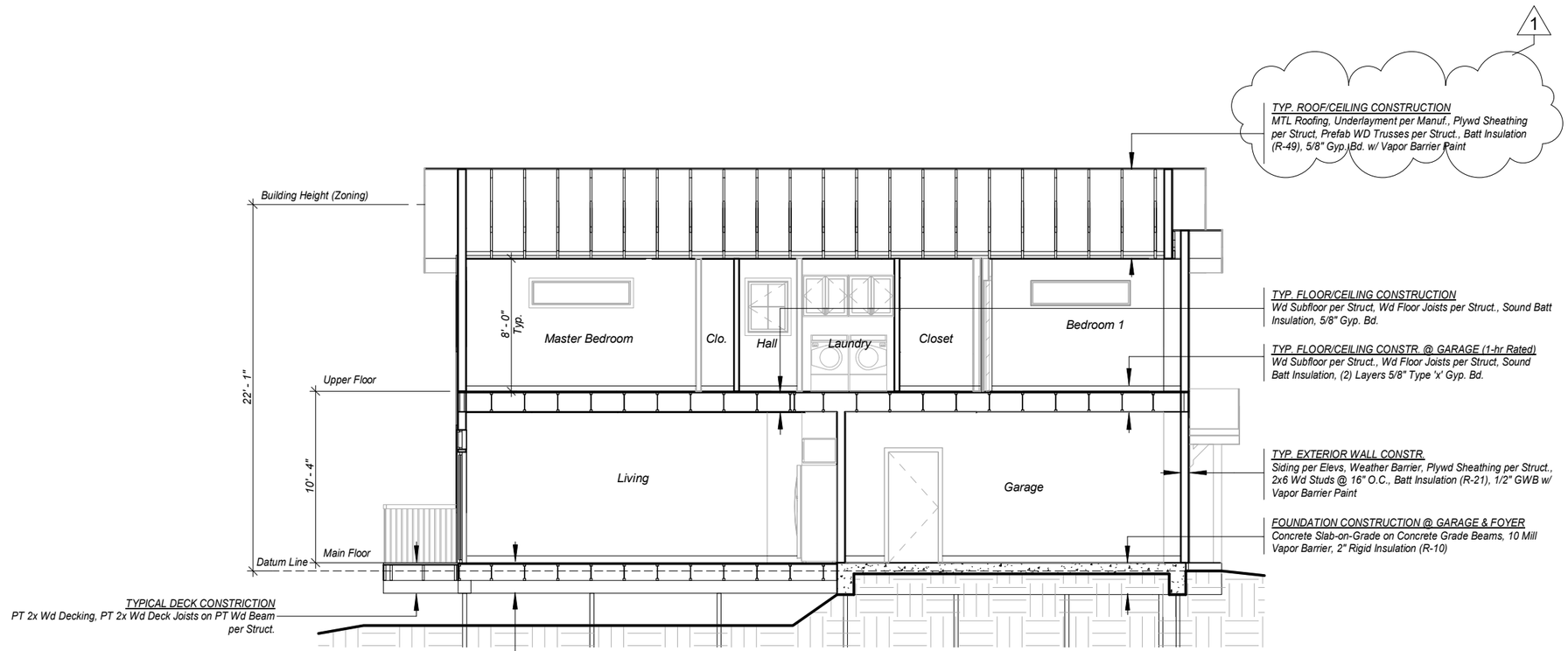
SHEET DESCRIPTION:
Stair Plans & Details

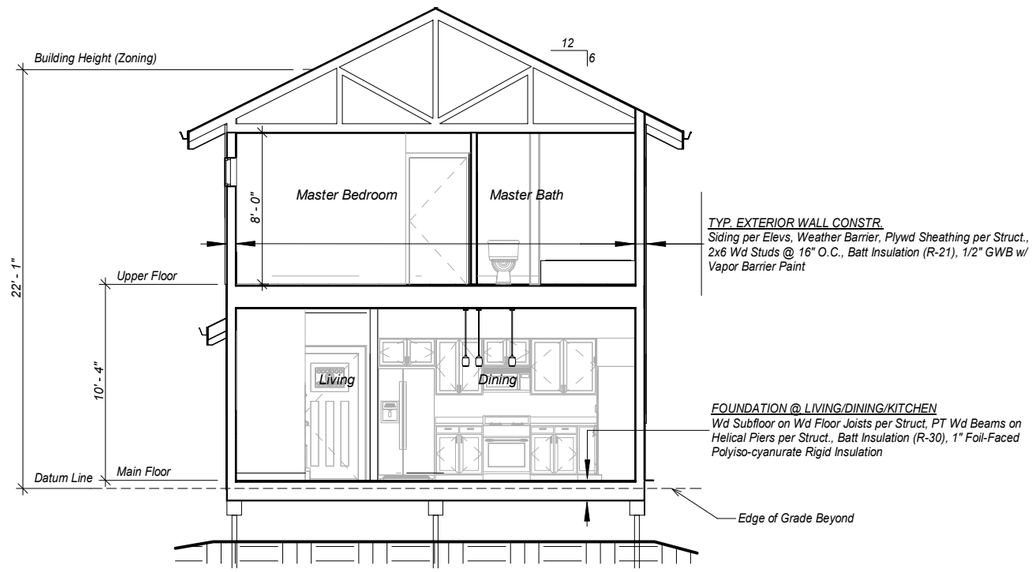
A205

SHEET:
26 of **28**



1 Section 1

1/8" = 1'-0"



2 Section 2

1/8" = 1'-0"

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REV #1: 5.8.24

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Single Family Dwelling

STATUS:
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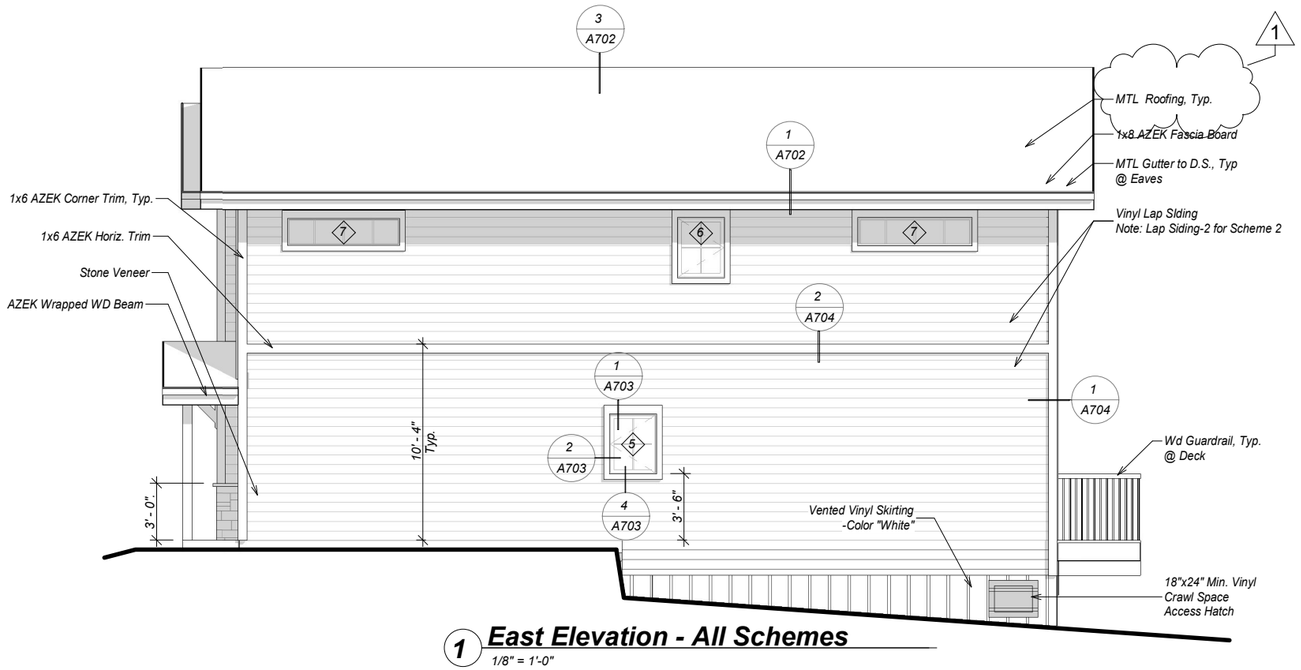
SHEET DESCRIPTION:
Sections

A300

SHEET:
27 of **28**



1 East Elevation - All Schemes

1/8" = 1'-0"

EXTERIOR SIDING AND TRIM SCHEDULE

Manufacturer: Kaycan

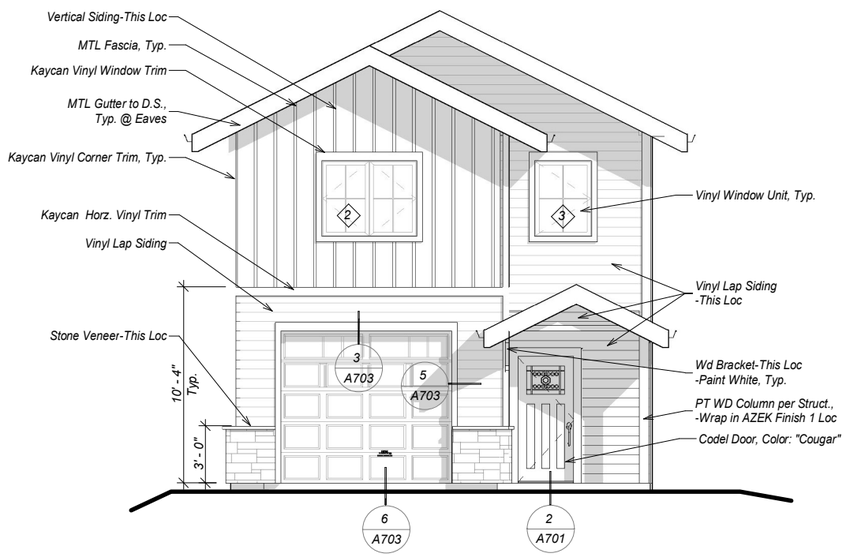
Scheme 1 (Odd Numbered Units):

- **Vertical Siding: "Slate Grey"**
- **Lap Siding: "Slate"**
- **Trim: "White"**
- **Stone Veneer: Elderado Stone, Cliffstone Series, Color: "Whitebark"**

Scheme 2 (Even Numbered Units):

- **Lap Siding-1: "Slate Grey"**
- **Lap Siding-2: "Slate"**
- **Trim: "White"**
- **Stone Veneer: Elderado Stone, Cliffstone Series, Color: "Whitebark"**

Note: Coordinate final color selection w/ Owner.



3 North Elevation - Scheme 1

1/8" = 1'-0"

2 North Elevation - Scheme 2

1/8" = 1'-0"

REVISIONS:
REV #1: 5.8.24

THRHA
Single Family Dwelling

STATUS:
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DATE: 3.6.23
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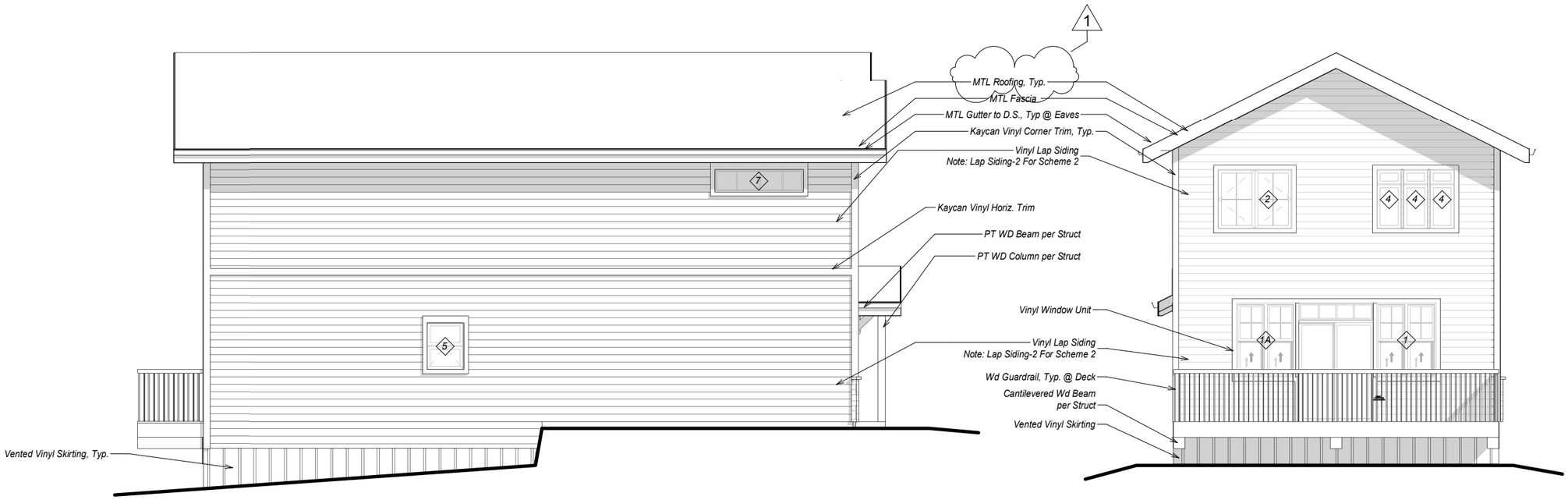
SHEET DESCRIPTION:
Elevations

A400

SHEET:
28 of **28**



1 West Elevation-All Schemes

1/8" = 1'-0"

2 South Elevation-All Schemes

1/8" = 1'-0"

1

EXTERIOR SIDING AND TRIM SCHEDULE
Manufacturer: Kaycan
Scheme 1 (Odd Numbered Units):
Vertical Siding: "Slate Grey"
Lap Siding: "Slate"
Trim: "White"
Stone Veneer: Elderado Stone, Cliffstone Series, Color: "Whitebark"

Scheme 2 (Even Numbered Units):
Lap Siding-1: "Slate Grey"
Lap Siding-2: "Slate"
Trim: "White"
Stone Veneer: Elderado Stone, Cliffstone Series, Color: "Whitebark"

Note: Coordinate final color selection w/ Owner.

REVISIONS:
REV #1: 5.8.24

THRHA
Single Family Dwelling

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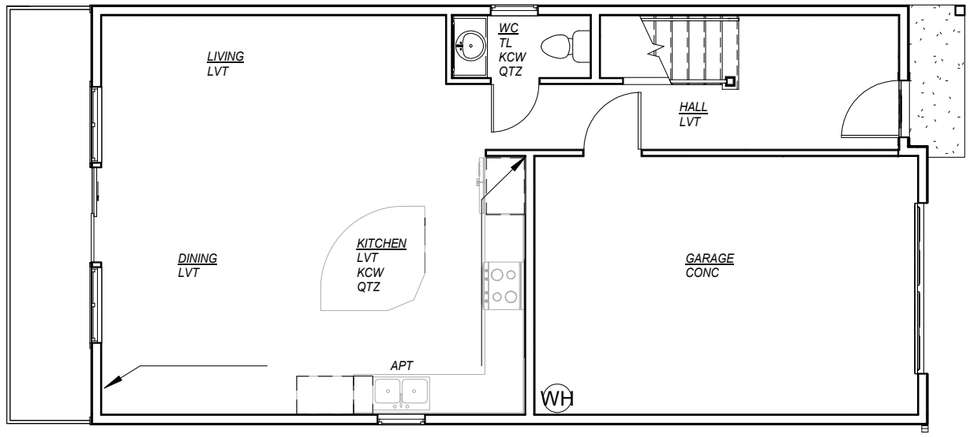
SHEET DESCRIPTION:
Elevations

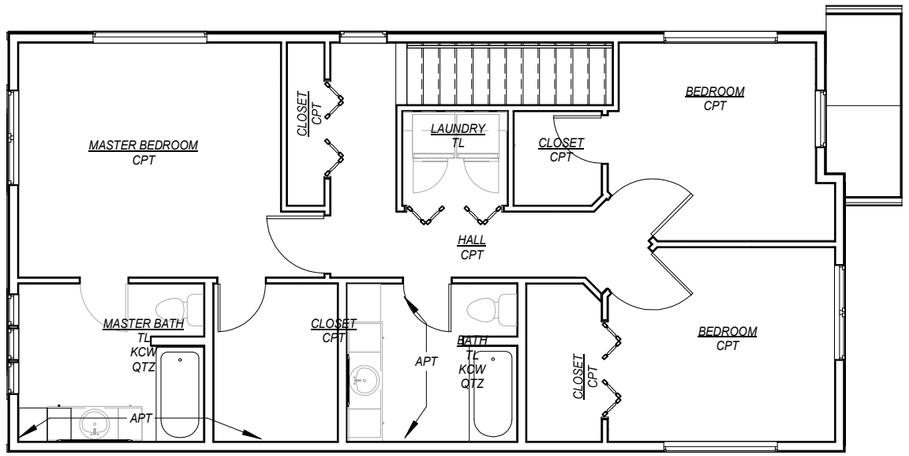
A401

SHEET:
29 *of* **28**



1 FF&E Scheme 1 Plan-Main Level

1/8" = 1'-0"



2 FF&E Scheme 1 Plan- Upper Level

1/8" = 1'-0"

MATERIALS - SCHEME 1 (ODD NUMBERED UNITS)

FINISH MATERIAL LEGEND

Flooring:
- CONC: Concrete-Sealed
- LVT Luxury Vinyl Tile
- CPT Carpet
- TL Tile

Trim:
- BT Base Trim
- WT Window & Door Trim

Paint:
- GPT General Wall & Ceiling Paint
- APT Accent Wall Paint (See Plan for Locs)

Casework:
- KCW: Casework

Countertops:
- QTZ: Quartz Countertop

FINISH MATERIAL SPECIFICATIONS

Luxury Vinyl Tile (LVT)
Manuf: TAS Flooring
Series: Fortitude ABA
Color: Ranger

Floor & Base Tile (TL)
Manuf: Daltile
Series & Shape: Attache, Rectangle
Color: Meta Beige SA05

Carpet (CPT)
Manuf: Shaw Contract
Syle: Statement 5A257
Color: Refined 00220

Base Trim (BT)
WD-Painted White

Window Trim (WT)
WD-Painted White

General Wall & Ceiling Paint (GPT)
Manuf: Pittsburgh Paints
Color: "Seagull" PPG14-03
Finish: Eggshell

Accent Wall Paint (APT)
Manuf: Pittsburgh Paints
Color: "Shadow Taupe" PPG14-01
Finish: Eggshell

Casework (KCW)
Manuf: Kemper Cabinets
Material: Hardwood
Color: White
Door Style: Antrim
Hardware: H118 Knob & H120 Pull

Countertops (QTZ)
Manuf: Pental Quartz
Color: Cappuccino Polished

1. Base, Window, & Door Trim is Typical Throughout all Rooms U.O.N on the FF&E Plan.
2. All Walls and Ceilings throughout are to be General Wall & Ceiling Paint - GPT U.O.N. See FF&E Plan for Accent Paint-APT Locations.
3. See Interior Elevations for Drawer Knob Locs. All other Areas to be H120 Pull Type Hardware.

REVISIONS:

THRHA
Single Family Dwelling

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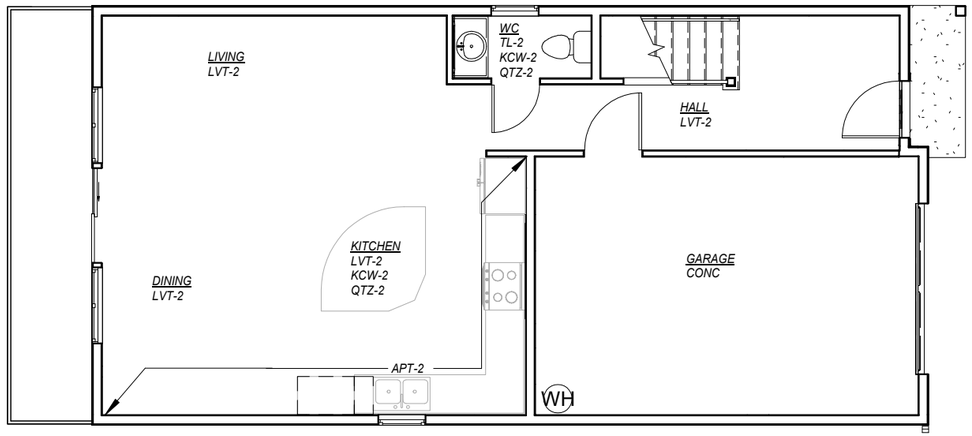
SHEET DESCRIPTION:
FF&E Scheme 1 Plans

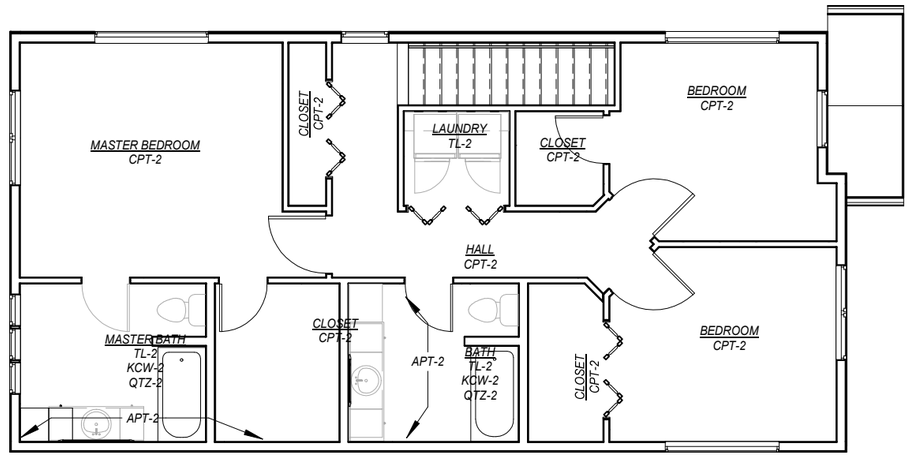
A600

SHEET:
30 of 28



2 FF&E Scheme 2 Plan-Main Level

1/8" = 1'-0"



1 FF&E Scheme 2 Plan- Upper Level

1/8" = 1'-0"

MATERIALS - SCHEME 2 (EVEN NUMBERED UNITS)

FINISH MATERIAL LEGEND

Flooring:
- CONC: Concrete-Sealed
- LVT-2 Luxury Vinyl Tile
- CPT-2 Carpet
- TL-2 Floor & Base Tile

Trim:
- BT Base Trim
- WT Window Trim

Paint:
- GPT-2 General Wall & Ceiling Paint
- APT-2 Accent Wall Paint

Casework:
- KCW-2: Kitchen Casework
- BCW-2: Bathroom Casework

Countertops:
- QTZ-2: Quartz Countertop

FINISH MATERIAL SPECIFICATIONS

Luxury Vinyl Tile (LVT-2)
- Manuf: TAS Flooring
- Series: Fortitude ABA
- Color: Mercedes

Carpet (CPT-2)
- Manuf: Shaw Contract
- Syle: Reimagine 5A256
- Color: Ponder 00770

Floor & Base Tile (TL-2)
- Manuf: Daltile
- Series & Shape: Attache, Rectangle
- Color: "Meta White" SA04

Base Trim (BT)
- WD-Painted White

Window Trim (WT)
- WD-Painted White

General Wall Paint (GPT-2)
- Manuf: Pittsburgh Paints
- Color: "Off White" PPG1024-1
- Finish: Eggshell

Accent Wall Paint (APT-2)
- Manuf: Pittsburgh Paints
- Color: Moth Grey PPG1024-4
- Finish: Eggshell

Kitchen Casework (KCW-2)
- Manuf: Kemper Cabinets
- Material: Maple
- Color: Thatch
- Door Style: Antrim
- Hardware: H120 Pull

Bathroom Casework (BCW-2)
- Manuf: Kemper Cabinets
- Material: Hardwood
- Color: Maritime
- Door Style: Antrim
- Hardware: H118 Knob & H120 Pull

Countertops (QTZ-2)
- Manuf: Pental Quartz
- Color: Valley White Polished

GENERAL NOTES

1. Base, Window, & Door Trim is Typical Throughout all Rooms U.O.N on the FF&E Plan.
2. All Walls and Ceilings throughout are to be General Wall & Ceiling Paint - GPT U.O.N. See FF&E Plan for Accent Paint-APT Locations.
3. See Interior Elevations for Drawer Knob Locs. All other Areas to be H120 Pull Type Hardware.

REVISIONS:

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

DRAWN BY: NMG
CHECKED BY: NMG
DATE: 3.6.23
PROJECT #: 222321.10

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SHEET DESCRIPTION:
FF&E Scheme2 Plans

A601

SHEET:
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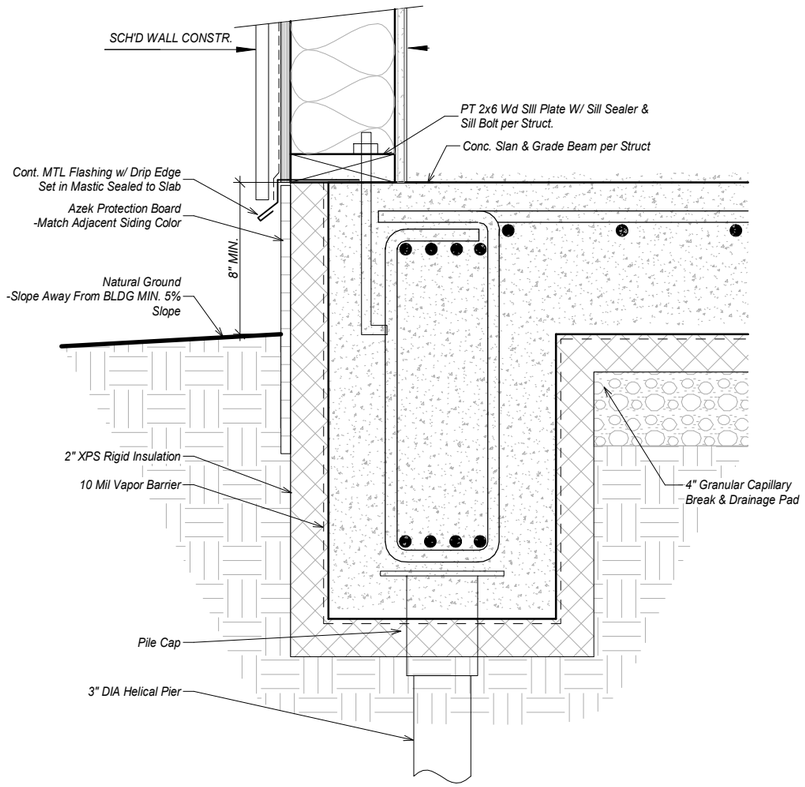
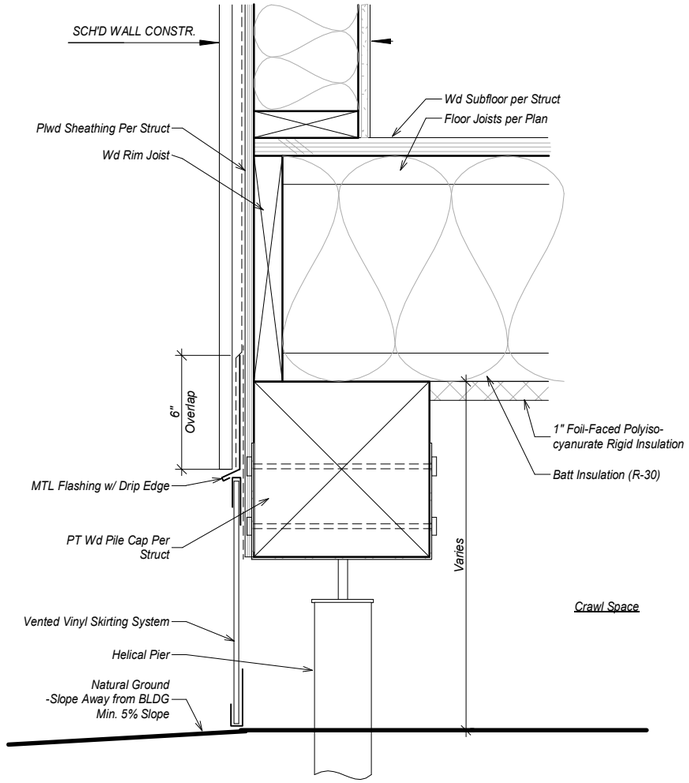


1 Foundation Detail @ Conc. Slab

1 1/2" = 1'-0"



2 Foundation @ Wood Beams

1 1/2" = 1'-0"

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SHEET DESCRIPTION:
Details

A700

SHEET:
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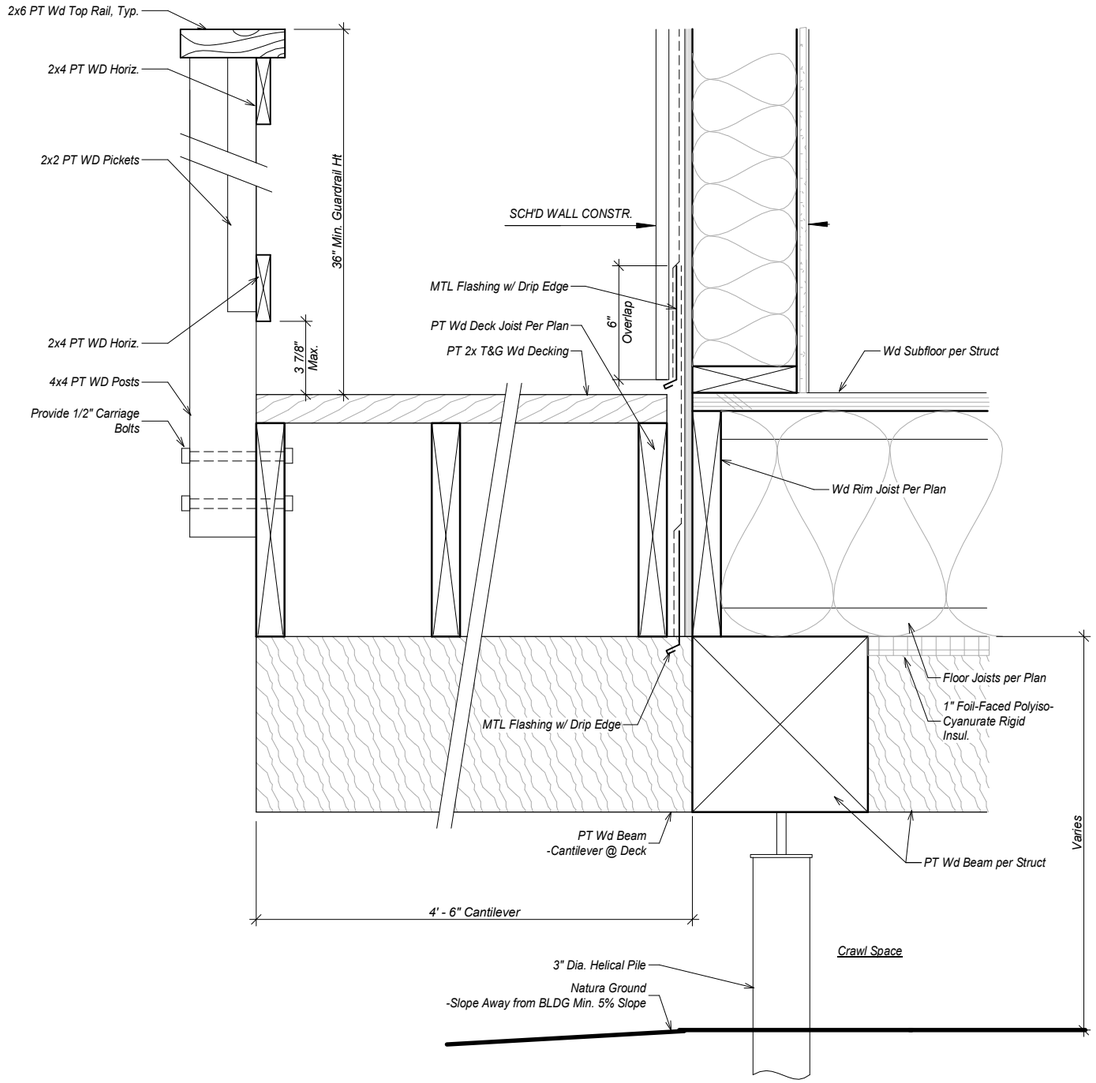
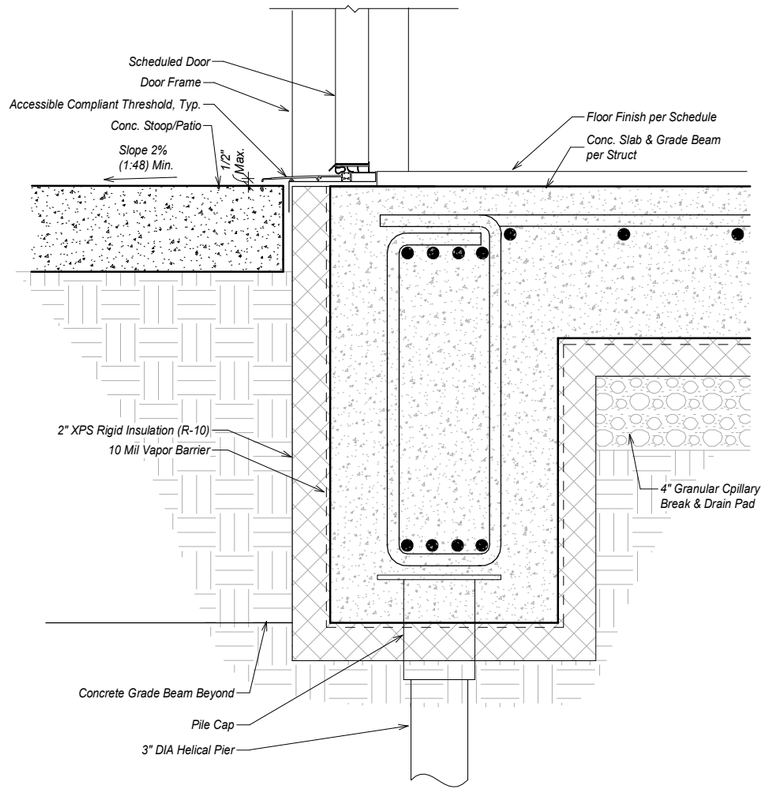


1 Typ. Deck Detail

1 1/2" = 1'-0"



2 Door Threshold @ Covered Entry

1 1/2" = 1'-0"

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Single Family Dwelling

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SHEET DESCRIPTION:
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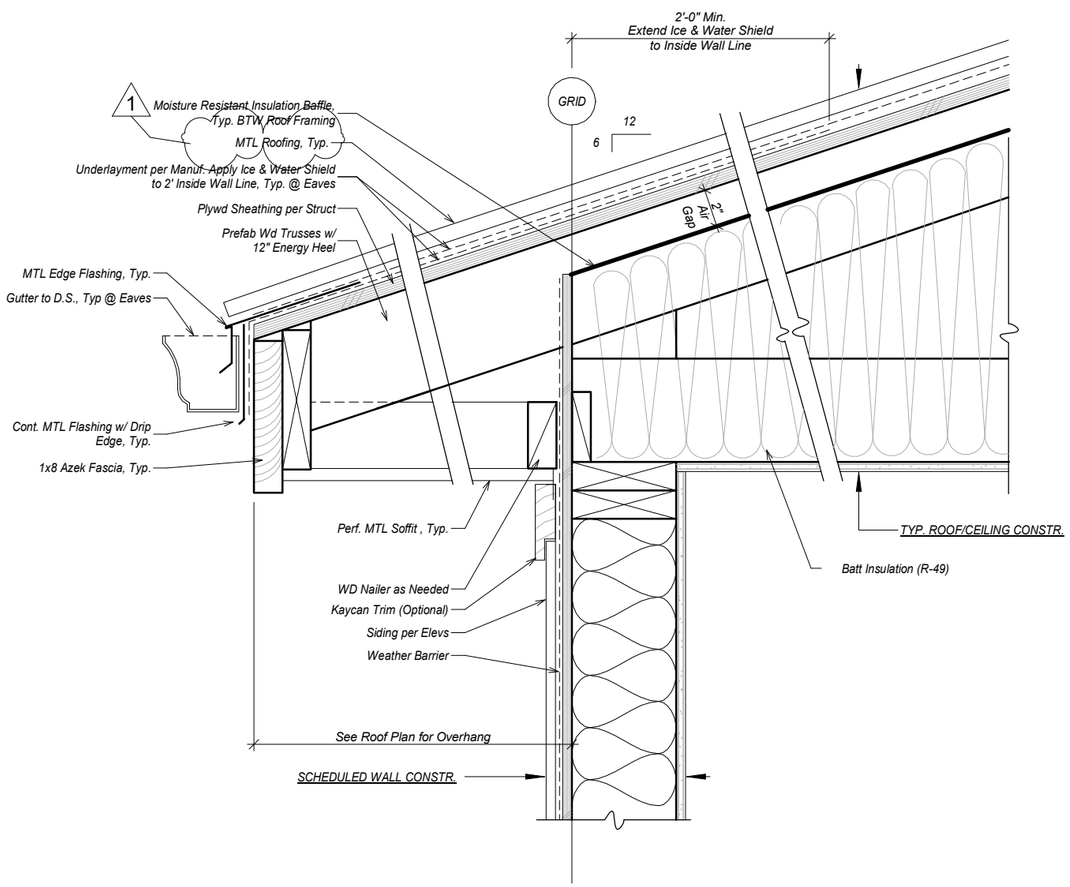
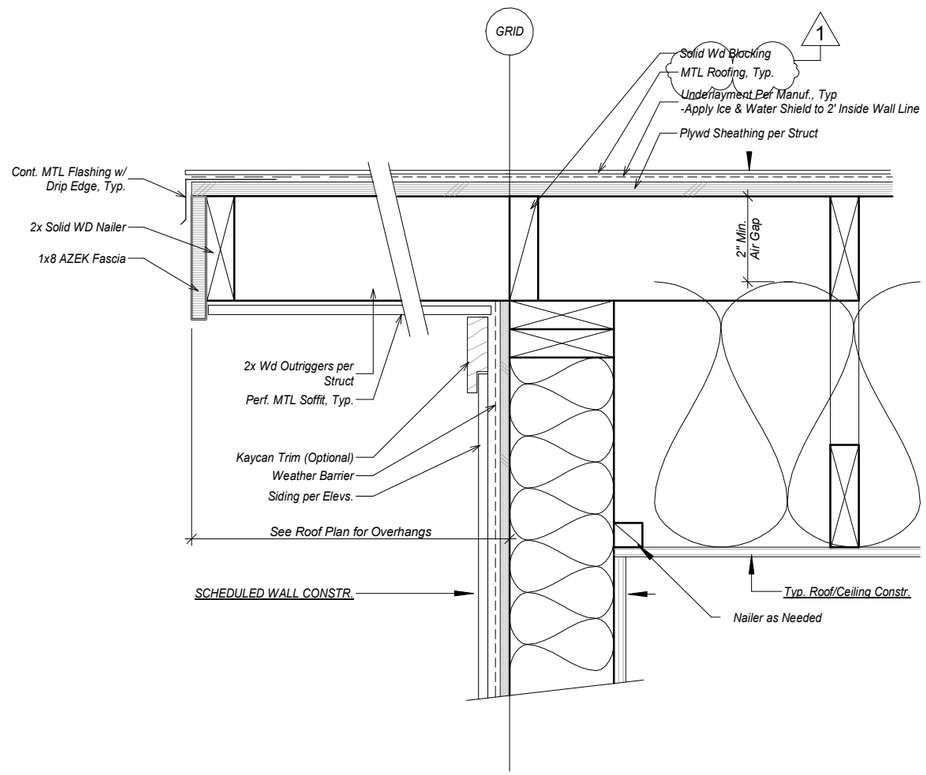
A701

SHEET:
33 of 28



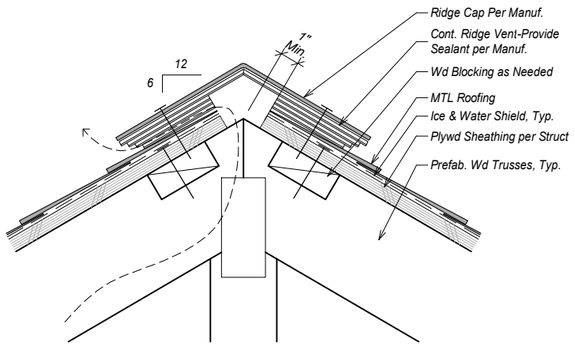
1 Typ. Roof Eave-1 hr Rated (Ga File No. RC 2601)

1 1/2" = 1'-0"



2 Typ. Roof Rake

1 1/2" = 1'-0"



3 Typ. Ridge Detail

1 1/2" = 1'-0"

REVISIONS:
REV #1: 5.8.24

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Single Family Dwelling

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SHEET DESCRIPTION:
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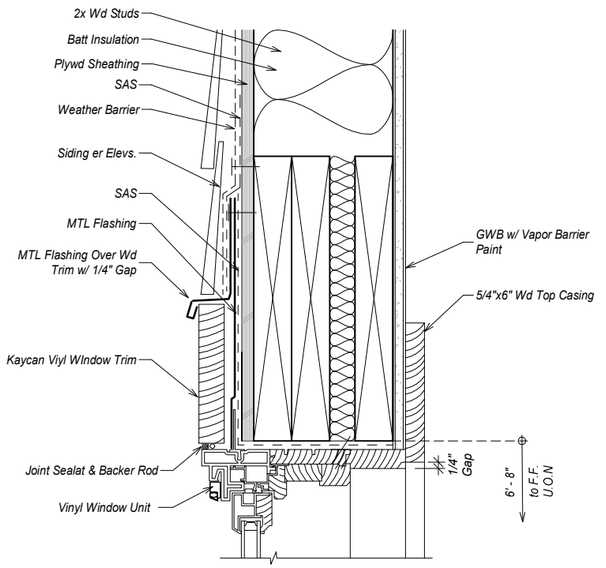
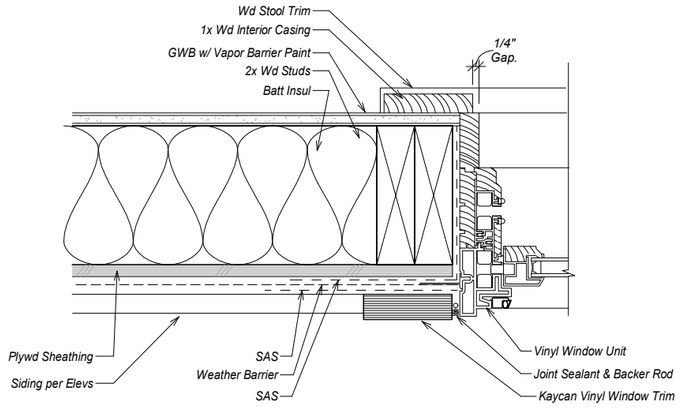
A702

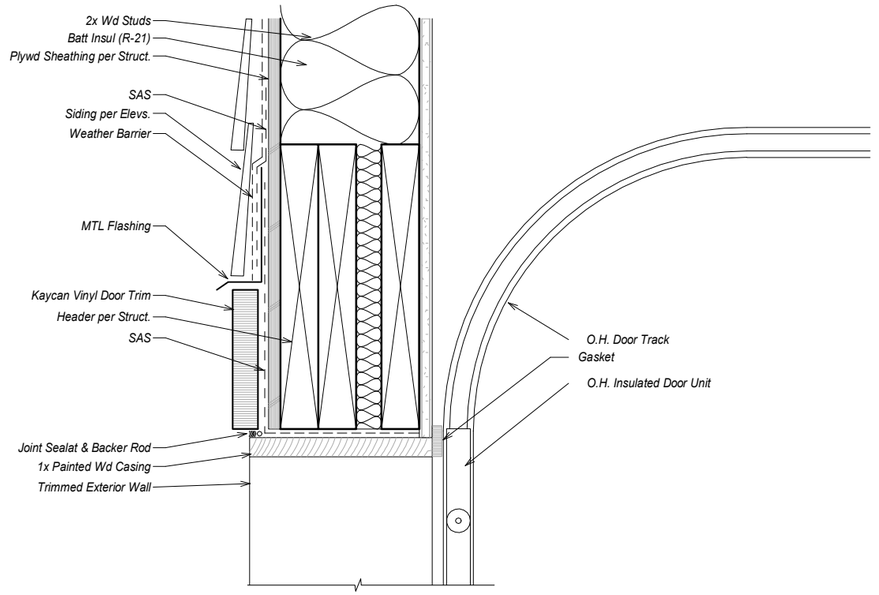
SHEET:
34 of 28



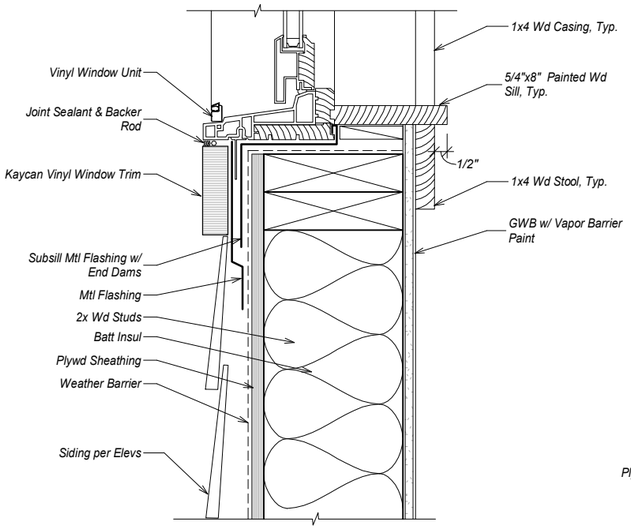
1 Typ. Window Head
1 : 6



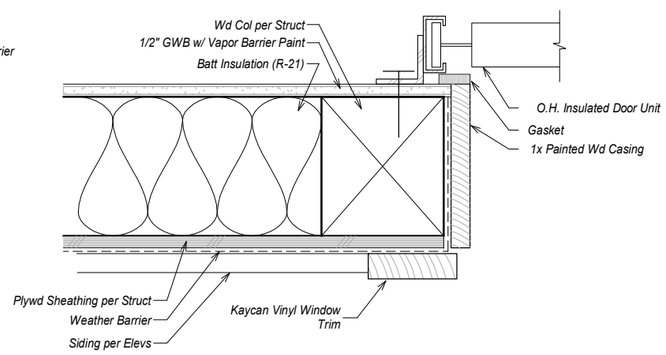
2 Typ. Window Jamb
1 : 6



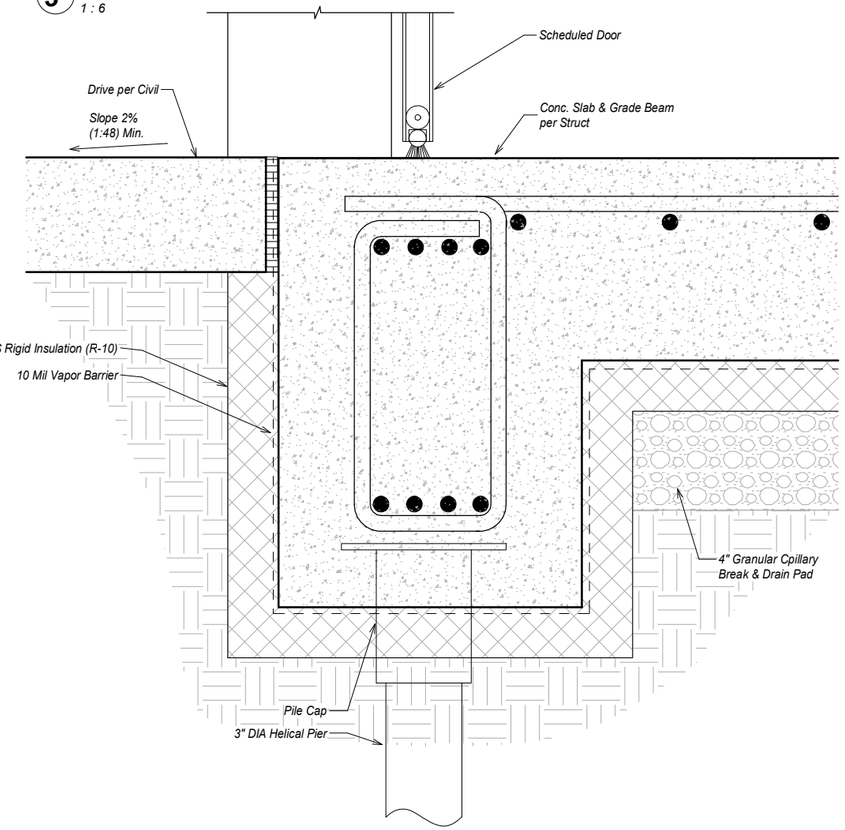
3 Overhead Door Head
1 : 6



4 Typ. Window Sill
1 : 6



5 Overhead Door Jamb
1 : 6



6 Overhead Door Threshold
1 : 6

REVISIONS:

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SHEET DESCRIPTION:
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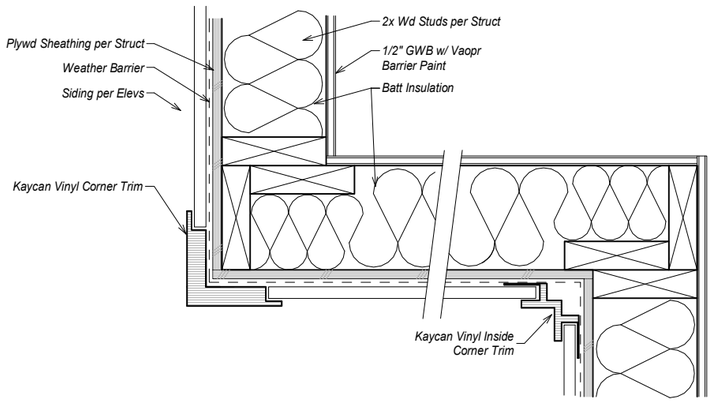
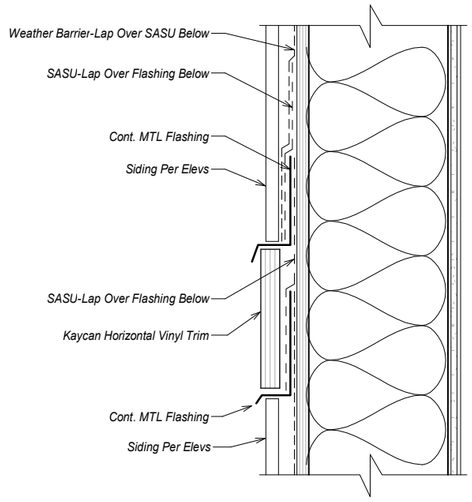
A703

SHEET:
35 *of* **28**



1 Typ. Corner Detail

1 1/2" = 1'-0"



2 Horizontal Trim Detail

1 : 6

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Details

A704

SHEET:

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GENERAL STRUCTURAL NOTES

GENERAL

BUILDING CODE: ALL MATERIALS, WORKMENSHIP,DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL RESIDENTIAL CODE (IRC), 2012 EDITION.

STANDARDS:REFERENCE TO ASTM AND OTHER STANDARDS SHALL MEAN THE LATEST EDITION IN EFFECT ON THE BID DATE, UNLESS NOTED IN THESE DOCUMENTS OR DESIGNATED BY THE GOVERNING CODE.

LOADS AND CRITERIA

GRAVITY: IN ADDITION TO THE SELF WEIGHT, THE FOLLOWING WERE USED FOR DESIGN:

AREA	UNIFORM LIVE LOAD (PSF)
RESIDENTIAL AREAS	40

SNOW DESIGN DATA:

GROUND SNOW LOAD	P_g = 70 PSF
FLAT-ROOF SNOW LOAD	P_f = 50 psf
SNOW EXPOSURE FACTOR	C_e = 0.9
SNOW LOAD IMPORTANCE FACTOR	I_s = 1.0
THERMAL FACTOR	C_t = 1.0
RAIN-ON-SNOW SURCHARGE	= 0 PSF
SLOPED ROOF SNOW LOAD	P_s = 50 PSF

WIND DESIGN DATA (GOVERNS DESIGN OF LATERAL FORCE RESISTING SYSTEM):

BASIC WIND SPEED (3-SECOND GUST)	V = 120 MPH
WIND RISK CATEGORY	I_w = II
SURFACE ROUGHNESS	= B
EXPOSURE CATEGORY	= C
INTERNAL PRESSURE COEFFICIENT	GC = 0.18 : ENCLOSED
COMPONENT AND CLADDING PRESSURE	P_{PI} = +/- 41 PSF

SEISMIC DESIGN DATA

MAPPED SPECTRAL RESPONSE	Ss = 0.544 %g
	S1 = 0.362 %g

SHOP DRAWINGS AND SUBMITTALS SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION OR CONSTRUCTION OF THESE ITEMS:

CONCRETE MIX DESIGN	TRUSS DESIGN
CONCRETE REINFORCING	JOIST FRAMING

CONTRACTOR SHALL REVIEW AND STAMP SUBMITTALS PRIOR TO SUBMISSION. IF SHOP DRAWINGS DIFFER FROM DESIGN SHOWN ON STRUCTURAL DRAWINGS, THEY SHALL BE SEALED BY THE ALASKA STATE REGISTERED PROFESSIONAL ENGINEER RESPONSIBLE FOR THE DESIGN. DIMENSIONS AND QUANTITIES ARE CONTRACTOR'S RESPONSIBILITY AND WILL NOT BE REVIEWED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS PLACED PRIOR TO RECEIPT OF REVIEWED SUBMITTALS. CONTRACTOR SHALL ALLOW SUFFICIENT TIME FOR REVIEW.

NOTE:
SUBMIT TRUSS CALCULATIONS AND LAYOUT PLAN TO ENGINEER OF RECORD FOR APPROVAL PRIOR TO SUBMITTAL TO CITY. PLANS AND CALCULATIONS TO BE APPROVED BY CITY PRIOR TO REQUESTING FRAME INSPECTION.

SOIL BEARING PRESSURE: 3000 PSF (IBC TABLE 1804.2)
SOIL BEARING IS BASED ON THREE TEST PITS EXCAVATED TO THE NATIVE BEACH GRAVEL WHICH CONFIRMED THE SITE WAS FILLED WITH SHOT ROCK FILL.

SPECIAL INSPECTION
CONTRACTOR SHALL PROVIDE SPECIAL INSPECTION FOR THE FOLLOWING:
- SOIL SUBGRADE
- GENERAL FRAMING
- REBAR PLACEMENT
- CONCRETE PLACEMENT
- STRUCTURAL HOLD DOWNS
- SUMMARY OF BUILDING INSPECTION (PUR-102)

CONCRETE

REFERENCE STANDARDS: CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF THE FOLLOWING DOCUMENTS, EXCEPT AS MODIFIED BELOW:

ACI 301 "STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE"
ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"
ACI 304 "GUIDE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE"
ACI 311 "GUIDE FOR CONCRETE INSPECTION"

MATERIALS:

CEMENT	ASTM C150, C595
AGGREGATE	ASTM C33
ADMIXTURES	ASTM C260, C494, & C1017
FLY ASH	ASTM C618, CLASS "F" OR "C"

AGGREGATES THAT EXHIBIT DELETERIOUS ACTIVITY WHEN EVALUATED IN ACCORDANCE WITH ASTM C33 APPENDIX XI SHALL NOT BE USED. SAND EQUIVALENT FOR FINE AGGREGATE SHALL NOT EXCEED 75.

MAXIMUM LOSS ON IGNITION SHALL BE 1%.

CONCRETE SHALL BE PROPORTIONED TO ACHIEVE A WORKABLE MIX THAT CAN BE PLACED WITHOUT SEGREGATION OR EXCESS FREE SURFACE WATER. MIX DESIGNS SHALL BE SUBMITTED FOR REVIEW PRIOR TO USE. COMPLY WITH IBC SECTION 1905. MIXES SHALL MEET OR EXCEED THE FOLLOWING CRITERIA:

TYPE OF CONSTRUCTION	*COMPRESSIVE STRENGTH (f'c)*	*TEST AGE*	*MAXIMUM WATER/CEMENT RATIO*
FOOTINGS, TOPPING SLABS, RETAINING AND FOUNDATION WALLS, CONCRETE ON METAL DECK, WALLS	*4,000 PSI*	*28 DAYS*	*0.50*

ADMIXTURES: ALL CONCRETE, INCLUDING SLAB ON GRADE, SHALL HAVE A WATER-REDUCING ADMIXTURE COMPLYING WITH ASTM C-494 ADDED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. CALCIUM CHLORIDE OR OTHER CHLORIDE ADMIXTURES SHALL NOT BE USED.

ALL HORIZONTAL SURFACE EXPOSED TO WEATHER SHALL CONTAIN AN AIR-ENTRAINING AGENT COMPLYING WITH ASTM C260. THE AMOUNT OF ENTRAINED AIR SHALL BE 5% +/- 1 1/2% BY VOLUME. TESTS FOR AIR CONTENT SHALL BE MADE AT THE DISCHARGE END OF THE PLACING HOSE IN ACCORDANCE WITH ASTM C173.

WATER/CEMENT RATIO SHALL BE MEASURED BY WEIGHT AND BE BASED ON TOTAL CEMENTITIOUS MATERIAL, INCLUDING CEMENT AND POZZOLANS SUCH AS FLY ASH AND SILICA FUME.

MAXIMUM AGGREGATE SIZE SHALL BE 1 1/2". BUT NOT MORE THAN 3/4 TIMES THE CLEAR DISTANCE BETWEEN REINFORCING BARS NOR 1/5 TIMES THE NARROWEST DIMENSION BETWEEN SIDES OF FORMS. MAXIMUM AGGREGATE SIZE FOR SLABS ON GRADE SHALL BE 1/3 TIMES THE SLAB THICKNESS.

SLUMP REQUIRED FOR PROPER PLACEMENT SHALL BE DETERMINED BY CONTRACTOR AND SUPPLIER, AND INCLUDED IN MIX DESIGN SUBMITTALS. FIELD MEASURED SLUMP SHALL CONFORM TO SUBMITTED CONCRETE MIX DESIGN. SLUMP SHALL CONFORM TO ASTM C94.

EMBEDDED ITEMS: CONDUIT AND SLEEVES SHALL NOT BE EMBEDDED IN OR PASS THROUGH CONCRETE WITHOUT APPROVAL. ALUMINUM ITEMS SHALL NOT BE EMBEDDED IN CONCRETE. SUBMIT CONDUIT LAYOUTS AND EMBEDDED ITEM PLANS FOR REVIEW PRIOR TO PLACING CONCRETE.

CONSTRUCTION JOINTS IN WALLS SHALL BE KEYED IN ACCORDANCE WITH TYPICAL CONSTRUCTION JOINT DETAILS SHOWN ON DRAWINGS OR, AT CONTRACTOR'S OPTION, SHALL BE AN INTENTIONALLY ROUGHENED CONSTRUCTION JOINT DEFINED BY THE FOLLOWING:
1. SURFACE OF JOINT SHALL BE SAND BLASTED OR ROUGHENED WITH A CHIPPING HAMMER TO EXPOSE AGGREGATE EMBEDDED IN PREVIOUS POUR.
2. EXPOSED AGGREGATE SHALL BE CLEANED AND LAITANCE REMOVED.
3. JOINT SURFACE SHALL BE CLEANED AND LAITANCE REMOVED.
4. JOINT SHALL BE WETTED AND STANDING WATER REMOVED IMMEDIATELY BEFORE NEW CONCRETE IS PLACED.

CONSTRUCTION JOINTS WHEN REQUIRED SHALL BE IN ACCORDANCE WITH ACI 6.4. SUBMIT JOINT LAYOUT PLAN FOR REVIEW PRIOR TO PLACING CONCRETE.

CONCRETE REINFORCEMENT

REFERENCE STANDARDS: CONCRETE REINFORCEMENT SHALL CONFORM TO ALL REQUIREMENTS OF THE FOLLOWING CODES, SPECIFICATIONS, AND STANDARDS, EXCEPT AS MODIFIED BELOW:

ACI 301
ACI SP-66
ACI 318
CRSI
CRSI
WRI

MATERIALS:

DEFORMED BARS	ASTM A615, GRADE 60
SMOOTH WELDED WIRE	ASTM A185, 65 KSI YIELD
BAR SUPPORTS	CONFORM TO CHAPTER 3, CRSI MSP-1

REINFORCING STEEL SHALL BE PLACED AND SUPPORTED IN ACCORDANCE WITH CRSI MSP-1. REINFORCING STEEL SHALL BE DETAILED IN ACCORDANCE WITH ACI SP-66. NO BENDING OR STRAIGHTENING OF REINFORCEMENT WILL BE PERMITTED AFTER PARTIAL EMBEDMENT IN CONCRETE.

LAP ALL CONTINUOUS REINFORCEMENT IN ACCORDANCE WITH THE SECTIONS AND DETAILS. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 1 CROSS WIRE SPACING + 2" OR 8" WHICHEVER IS GREATER.

BAR SIZE	*#4*	*#5*
L	*30"*	*37.5"*
L_D *18"*	*22.5"*	

WELDING OR TACK WELDING OF REINFORCING BARS TO OTHER BARS OR TO PLATES, ANGELS, ETC IS PROHIBITED, EXCEPT WHERE SPECIFICALLY APPROVED. WHERE WELDING IS APPROVED, IT SHALL BE DONE BY AWS CERTIFIED WELDERS USING E9018 ELECTRODES. WELDING PROCEDURES SHALL COMPLY WITH AWS-D1.4.

CONCRETE COVER: UNLESS NOTED OTHERWISE, MINIMUM COVER FOR REINFORCING SHALL BE:

ELEVATED SLABS	3/4" (1" AT FIRE-RESISTIVE RATING ≥ 2 HOURS)
SLABS ON GRADE	2" BOTTOM
INTERIOR WALL FACES	3/4"
EXPOSED FORMED WALL FACES	1 1/2" (#5 AND SMALLER), 2" (#6 & LARGER)
FOOTINGS	3" (2" TOP AND FORMED SIDES)
BEAMS, COLUMNS	1 1/2" (TO TIES, SPIRALS, STIRRUPS)

FIBROUS REINFORCEMENT: POLYPROPYLENE FIBROUS REINFORCEMENT ("FIBERMESH", "GRACE FIBERS", OR APPROVED EQUAL) SHALL BE USED WHERE NOTED ON THE DRAWINGS. SUBMIT PROPOSED PRODUCT DATA AND SPECIFICATIONS FOR REVIEW. ADD FIBERS TO CONCRETE MIX AND FINISH IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. COMPLY WITH ASTM C116, TYPE III, PERFORMANCE LEVEL 1. MINIMUM APPLICATION RATE SHALL BE 1.5 LB/CY.

ANCHORAGE

POST-INSTALLED ANCHORS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND NOTED ICC-ES REPORTS. SUBSTITUTES PROPOSED BY CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH ICC-ES REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. ALLOWABLE EPOXY PRODUCTS INCLUDE HILTI HY-150 OR APPROVED EQUAL.

NO REINFORCING BARS SHALL BE CUT TO INSTALL ANCHORS. ALL DEFECTIVE ANCHOR HOLES SHALL BE GROUTED WITH EPOXY ADHESIVE AND A NEW HOLE DRILLED A MINIMUM OF 3 BOLT DIAMETERS AWAY.

WOOD

REFERENCE STANDARDS: WOOD FRAMING SHALL CONFORM TO ALL REQUIREMENTS OF THE FOLLOWING DOCUMENTS, EXCEPT AS MODIFIED BELOW:

AITC
AF & PA

PLYWOOD: WOOD STRUCTURAL PANELS SHALL CONFORM TO REQUIREMENTS OF U.S. DEPARTMENT OF COMMERCE PS-1 OR PS-2. EACH PANEL SHALL BEAR THE AMERICAN PLYWOOD ASSOCIATION (APS) GRADE MARK. SEE DRAWINGS FOR GRADE AND THICKNESS.

SHEATHING: UNLESS NOTED OTHERWISE, ROOF AND FLOOR PANELS SHALL BE INSTALLED WITH LONG DIMENSION PERPENDICULAR TO SUPPORTS AND CONTINUOUS OVER 2 OR MORE SPANS. PLACE NAILS 3/8" FROM PANEL ENDS AND EDGES. DRIVE ALL NAILS FLUSH WITH SHEATHING SURFACE.

USE	*SIZE*	*SPECIES*	*GRADE*
WALL STUDS	*2x 3x*	*HEM-FIR*	*#2*
SILL PLATES	*2x 3x*	*HEM-FIR*	*#2*
JOISTS	*2x*	*HEM-FIR*	*#2*
JOISTS	*3x 4x*	*HEM-FIR*	*#2*
BEAMS/POSTS	*4x*	*HEM-FIR*	*#2*
BEAMS/POSTS	*6x*	*HEM-FIR*	*#1*
T&G DECKING	*2x*	*HEM-FIR*	*#2*

GLUE LAMINATED MEMBERS (GLULAMS) SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56-73 AND AITC STANDARD SPECIFICATIONS FOR STRUCTURAL GLUED LAMINATED TIMBER OF SOFTWOOD SPECIES, MANUFACTURING REQUIREMENTS AITC 117-93. EACH MEMBER SHALL BEAR AN AITC OF CONFORMANCE. GLULAMS SHALL BE ARCHITECTURAL GRADE WITH STRENGTH GRADES AS NOTED BELOW:

BEAMS: 24F-E11 (Fb=2400 PSI, Fv=195 PSI, E=1800 KSI)

ENGINEERED WOOD JOISTS: DESIGN SHOWN ON DRAWINGS IS BASED ON JOISTS MANUFACTURED BY BOISE CASCADE. SUBSTITUTES SHALL BE SUBMITTED WITH A CURRENT ICC-ES EVALUATION REPORT AND AN ITEMIZED SUBSTITUTION LIST FOR APPROVAL. JOIST SHALL BE INSTALLED IN CONFORMANCE WITH MANUFACTURERS INSTRUCTIONS. ALL NECESSARY ACCESSORIES, SUCH AS BRIDGING, BLOCKING AND STIFFENERS, SHALL BE FURNISHED BY THE MANUFACTURER.

ENGINEERED LUMBER: DESIGN SHOWN ON DRAWINGS IS BASED ON LUMBER MANUFACTURED BY BOISE CASCADE SUBSTITUTES SHALL BE SUBMITTED WITH A CURRENT ICC-ES EVALUATION REPORT AND AN ITEMIZED SUBSTITUTION LIST FOR APPROVAL.

CONNECTORS: DESIGN SHOWN ON DRAWINGS IS BASED ON CONNETEERS MANUFACTURED BY SIMPSON STRONG-TIE IN ACCORDANCE WITH CATALOG C-2004. SUBSTITUTES SHALL BE SUBMITTED WITH A CURRENT ICC-ES EVALUATION REPORT AND AN ITEMIZED SUBSTITUTION LIST FOR APPROVAL. CONNECTORS SHALL BE INSTALLED IN CONFORMANCE WITH MANUFACTURER'S INSTRUCTIONS.

NAILING NOT SHOWN SHALL BE AS SHOWN IN IBC TABLE 2304.9.1 OR CURRENT ICC-ES REPORT NER-272. MINIMUM NAIL DIMENSIONS SHALL BE AS FOLLOWS:

SIZE	DIAMETER	LENGTH
6d	0.113"	2"
8d	0.131"	2 1/2"
10d	0.148"	3"
12d	0.148"	3 1/4"
16d	0.162"	3 1/2"
20d	0.192"	4"

BOLTS AND LAG SCREWS SHALL CONFORM TO ASTM A307.

WOOD PROTECTION: ALL WOOD MEMBERS EXPOSED TO WEATHER AND SPECIFIED AS "PT" ON THE DRAWINGS SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE. FASTENERS IN TREATED WOOD SHALL BE HOT DIPPED ZINC COATED GALVANIZED PER ASTM A153, STAINLESS STEEL, SILICON BRONZE OR COPPER.

FLOOR FRAMING: ALL FLOOR FRAMING TO HAVE A MINIMUM LIVE LOAD DEFLECTION LIMIT OF L/480.

REVISIONS:

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

DRAWN BY: NMG
CHECKED BY: TSS
DATE: 3.6.23
PROJECT #: 222321.10

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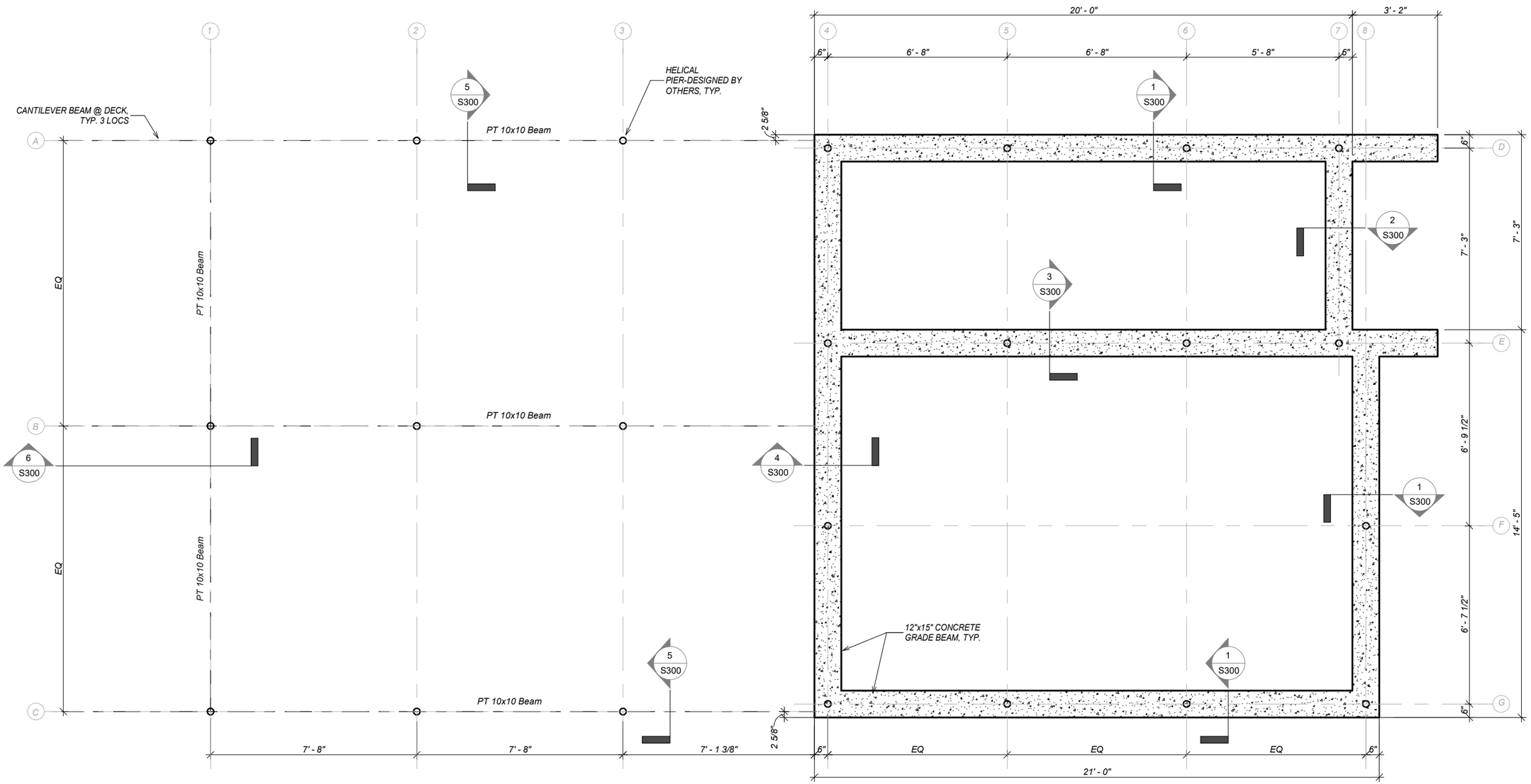
www.ketchikanengineer.com

STATE OF ALASKA 49th
TREVOR SANDE
CE 9778
3.6.23
REGISTERED PROFESSIONAL ENGINEER

SHEET DESCRIPTION:
Structural Notes

S100

SHEET:
37 of 28



1 Foundation Plan

1/4" = 1'-0"

REVISIONS:

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

DRAWN BY: NMG
CHECKED BY: TSS
DATE: 3.6.23
PROJECT #: 222321.10

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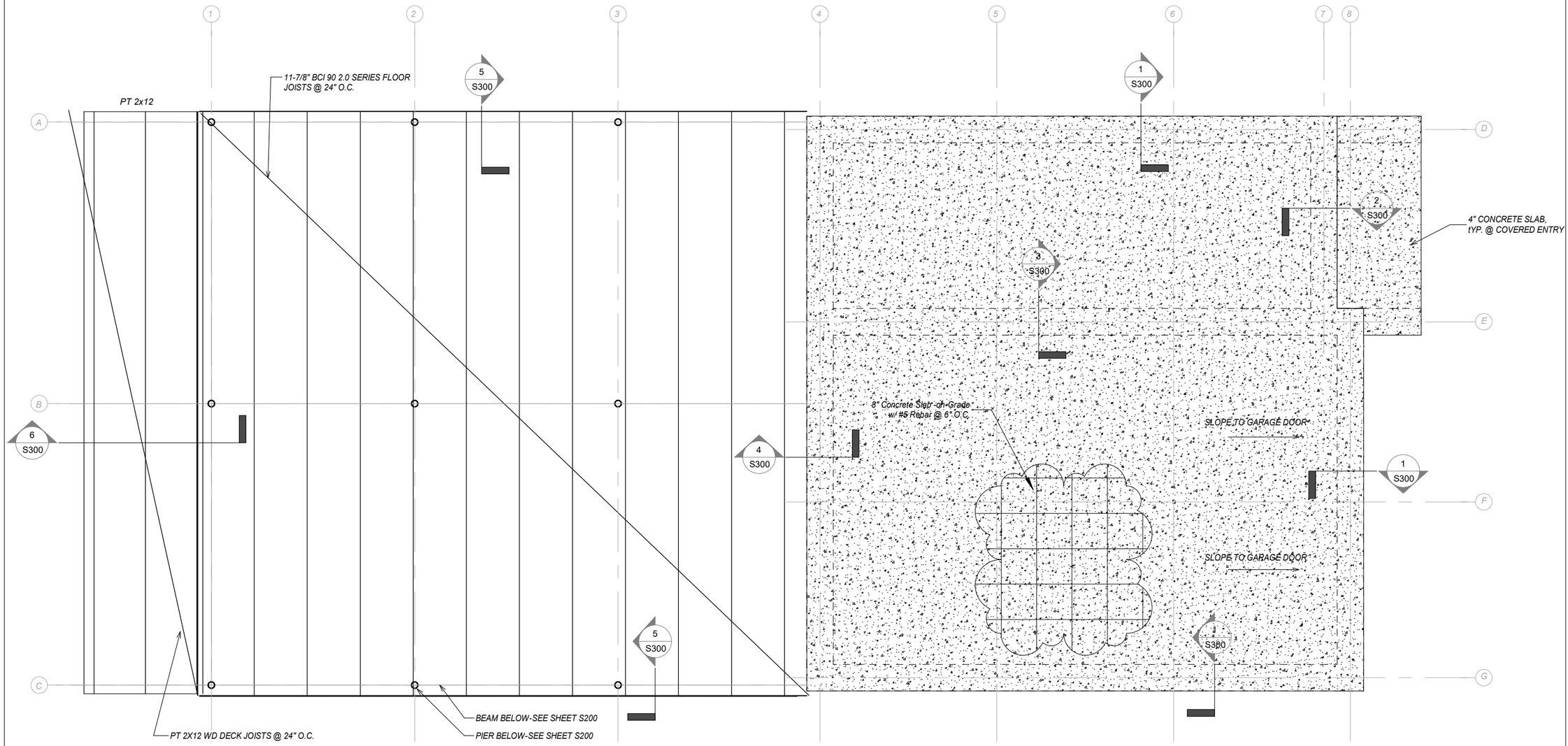
49th
TREVOR SANDE
CE 9778
3.6.23
REGISTERED PROFESSIONAL ENGINEER

SHEET DESCRIPTION:
Foundation Plan

S200

SHEET:
38 of 28



1 Main Floor Framing Plan

1/4" = 1'-0"

REVISIONS:

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

DRAWN BY: NMG
CHECKED BY: TSS
DATE: 3.6.23
PROJECT #: 222321.10

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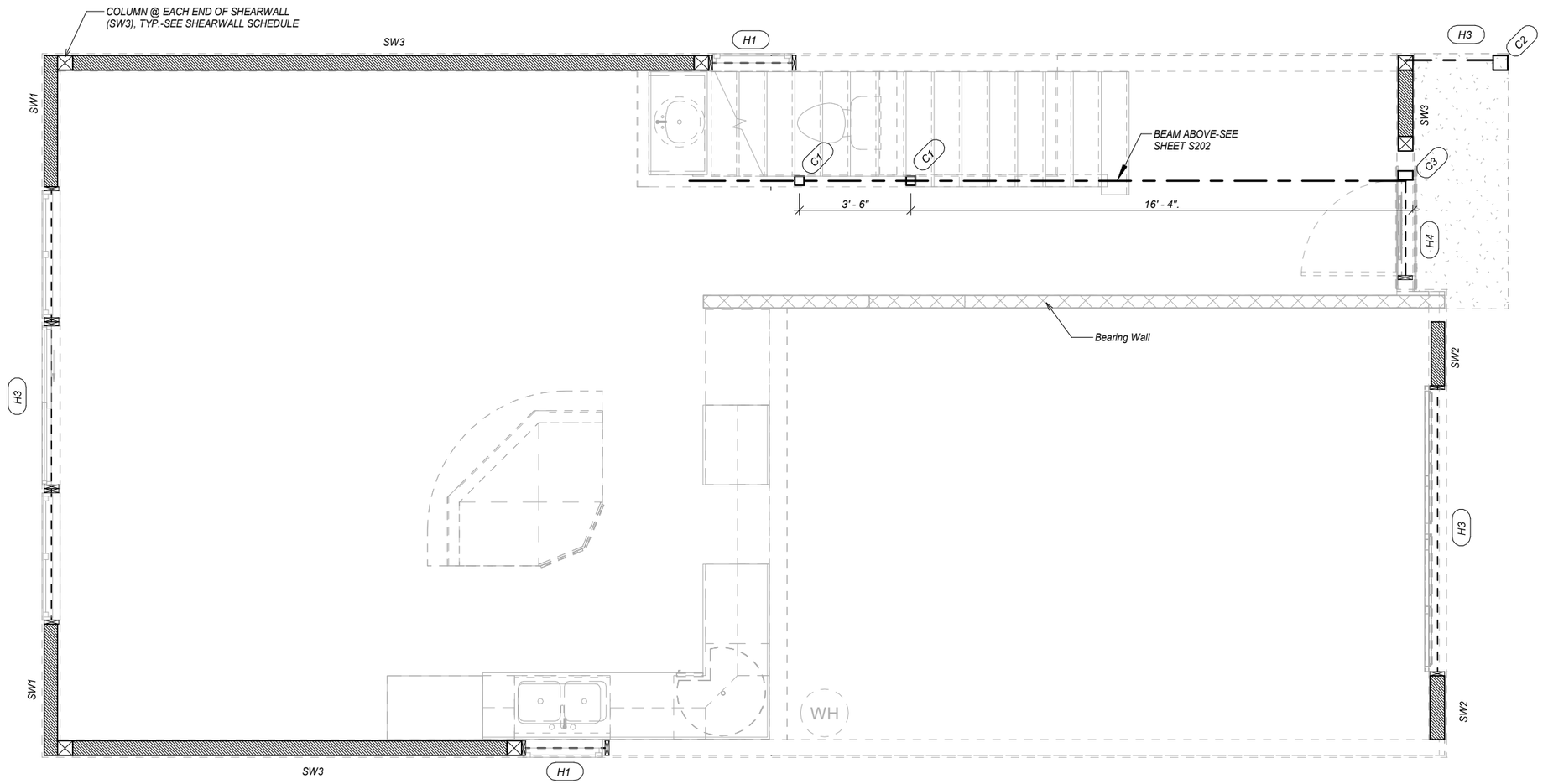
STATE OF ALASKA 49th
TREVOR SANDE
CE 9778
REGISTERED PROFESSIONAL ENGINEER

SHEET DESCRIPTION:
Main Floor Framing

S201

SHEET:
of **28**



1 Main Level Shearwall & Header Plan

1/4" = 1'-0"

Header Schedule

Type Mark	Type
H1	Double 2x8 Header
H2	Double 2x12 Header
H3	6x8 Header
H4	6x12

Column Schedule

Type Mark	Type
	Pipe3STD
C1	4x4
C2	PT 6x6
C3	4X6

SHEARWALL SCHEDULE

SW1 SIMPSON STRONGWALL SSW24X9

SW2 SIMPSON STRONG WALL SSW24x9-MAIN FLOOR ONLY

SW3 ALL WALLS 15/32" CDX STRUCTURAL SHEATHING ONE SIDE. FASTENERS TO BE 10d WITH 1-1/2" PENETRATION INTO FRAMING.

BASE FLOOR - OUTSIDE PANEL NAILING TO BE 4", INTERIOR SPACING TO BE 12". MIN 6x6 AT EACH END OR AS NOTED WITH SIMPSON HHDQ8-SDS3. SILL PLATE BOLTS TO BE 5/8" @ 24" O.C.. SILL PLATE BOLTS AT NON SHEARWALLS LOCATIONS TO BE 5/8" @ 48" O.C.

UPPER FLOOR - OUTSIDE PANEL NAILING TO BE 6", INTERIOR SPACING TO BE 12". 4X6 AT EACH END. FLOOR-TO-FLOOR CONNECTION TO BE SIMPSON HHDQ8 W/ 7/8" THREADED ROD. FASTEN 7/8" ROD THROUGH STRUCTURAL RIM ABOVE GARAGE DOOR @ GRID 2 WHERE STRONG WALL PANELS ARE BELOW. NOTE: SHEARWALL DETAIL IS SIMILAR AT GRID 1.

NOTES:

1. *FLOOR SHEATHING SHALL BE 1 1/8" T&G APA STURDI-FLOOR, EXP. 1, STRUCTURAL 1, T&G W/ PANEL INDEX 48/24. LONG AXIS PERPENDICULAR TO JOISTS W/ TRANSVERSE JOISTS STAGGERED.*
2. *BEARING WALLS SHALL BE 2"X6" LUMBER BEAMS, SET @ 16" O.C., UNLESS OTHERWISE NOTED.*
3. *INTERIOR WALL SHALL BE 2"X4" LUMBER BEAMS, SET AT 16" O.C., UNLESS OTHERWISE NOTED.*
4. *FLOOR TO FLOOR STRAPPING TO BE SIMPSON CMST12, CLEAR SPAN +90", ON 8' CENTERS ALONG THE EXTERIOR WALLS.*
5. *ALL BEAMS MUST HAVE MINIMUM BEARING LENGTH OF 3"*
6. *INTERIOR HEADERS LOCATED W/IN A NON-BEARING WALL SHALL CONSISTS OF A (2) 2x8 HEADER SUPPORTED BY A (1) 2x (MIN.) JACK STUD @ BOTH ENDS.*
7. *CONTRACTOR TO VERIFY HANGER DIMENSION AND CONFIGURATIONS WITH SIMPSON PRIOR TO CONSTRUCTION. ADDITIONALLY, ALL JOIST HANGERS AND BEAM SUPPORTS SHALL BE APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.*

REVISIONS:

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

DRAWN BY: NMG
CHECKED BY: TSS
DATE: 3.6.23
PROJECT #: 222321.10

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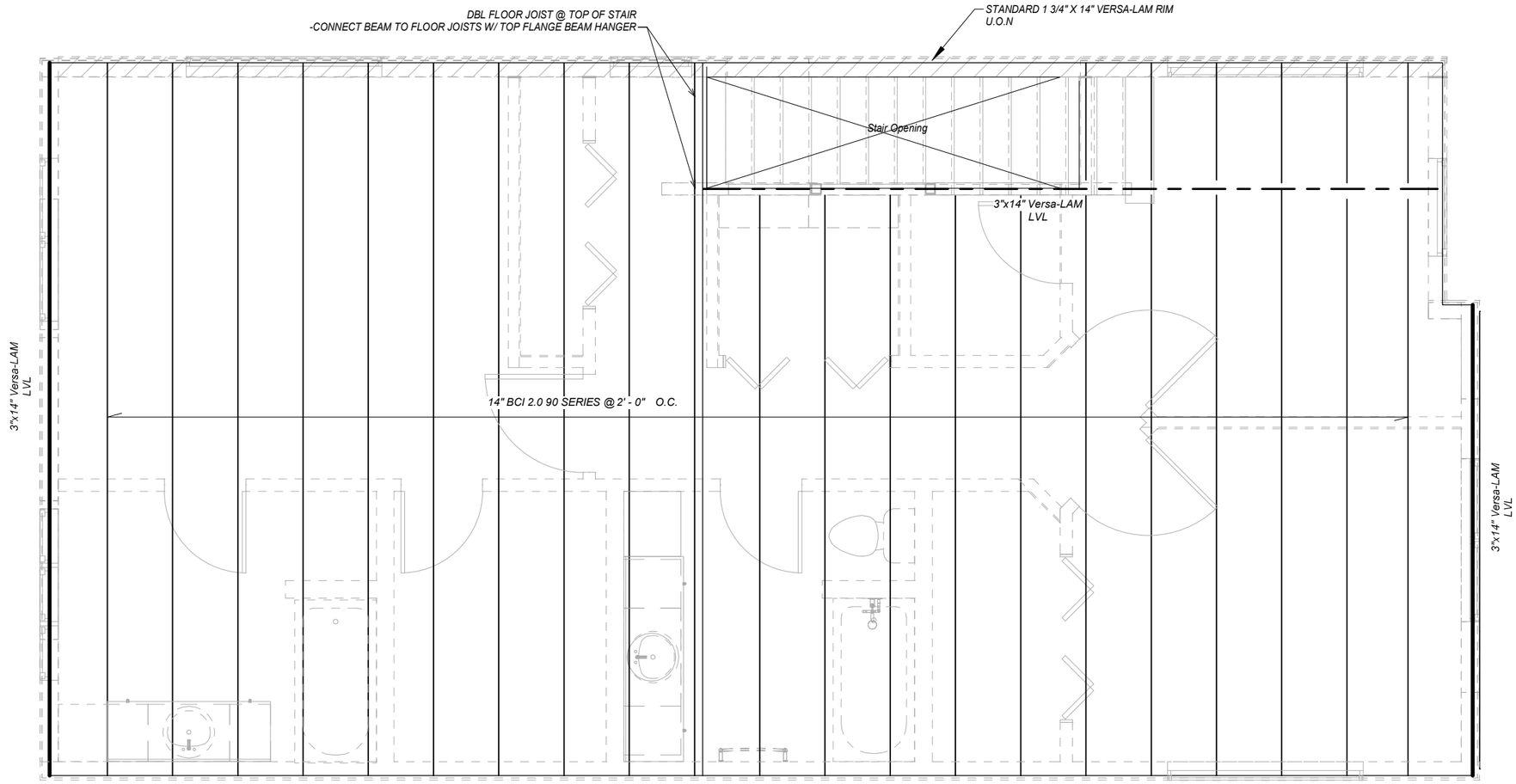
TREVOR SANDE
CE 9778
3.6.23
REGISTERED PROFESSIONAL ENGINEER

SHEET DESCRIPTION:
Main Floor Header & Shearwall Plan

S202

SHEET:
40 *of* **28**



1 Upper Floor Framing Plan

1/4" = 1'-0"

REVISIONS:

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

DRAWN BY: NMG
CHECKED BY: TSS
DATE: 3.6.23
PROJECT #: 222321.10

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TREVOR SANDE
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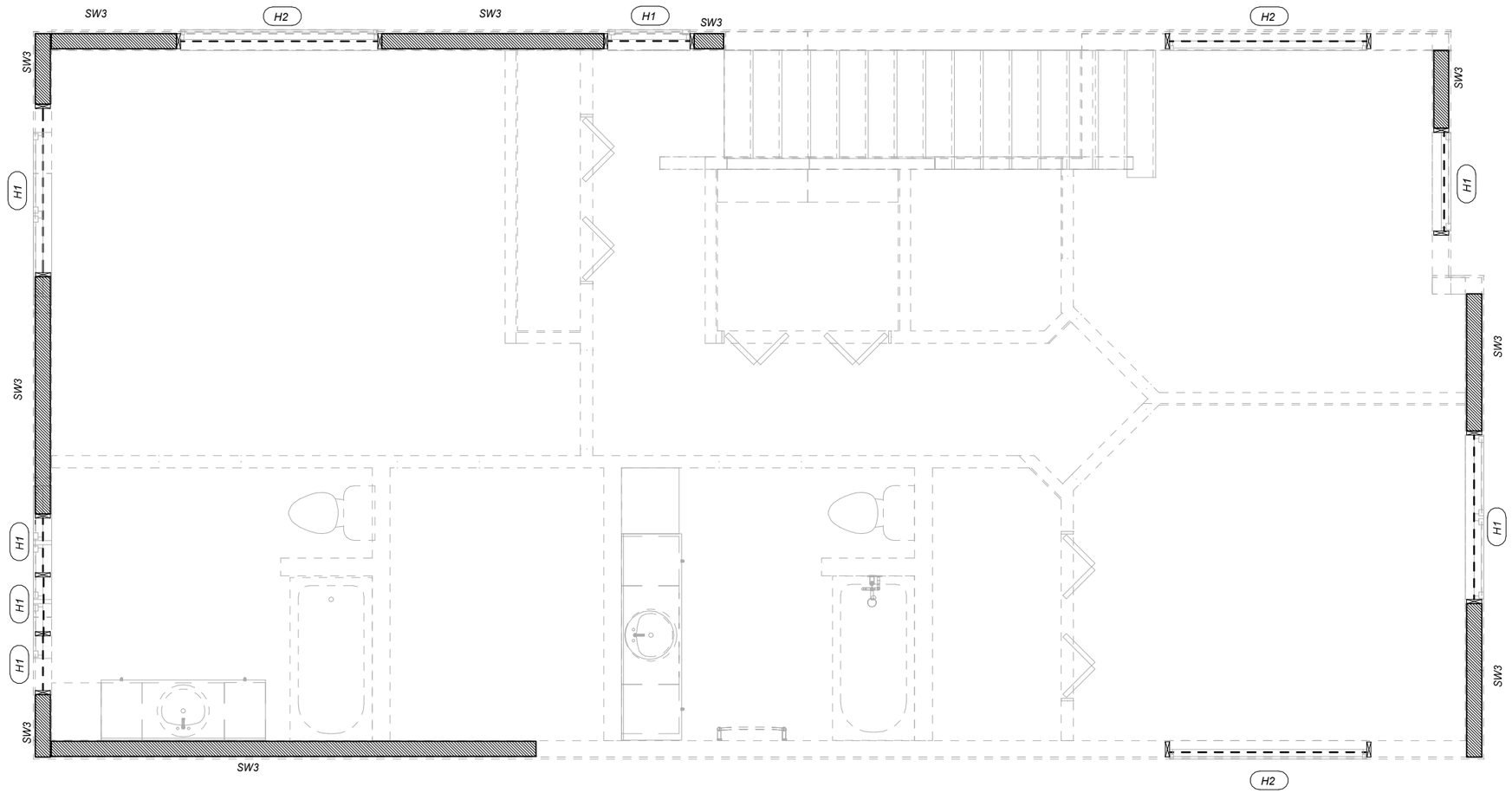
3.6.23
REGISTERED PROFESSIONAL ENGINEER

SHEET DESCRIPTION:
Upper Floor Framing Plan

S203

SHEET:
39 *of* **28**



1 Upper Level Shearwall & Header Plan

1/4" = 1'-0"

Header Schedule

Type Mark	Type
H1	Double 2x8 Header
H2	Double 2x12 Header
H3	6x8 Header
H4	6x12

Column Schedule

Type Mark	Type
	Pipe3STD
C1	4x4
C2	PT 6x6
C3	4X6

SHEARWALL SCHEDULE

SW1 SIMPSON STRONGWALL SSW24X9

SW2 SIMPSON STRONG WALL SSW24x9-MAIN FLOOR ONLY

SW3 ALL WALLS 15/32" CDX STRUCTURAL SHEATHING ONE SIDE. FASTENERS TO BE 10d WITH 1-1/2" PENETRATION INTO FRAMING.

BASE FLOOR - OUTSIDE PANEL NAILING TO BE 4", INTERIOR SPACING TO BE 12". MIN 6x6 AT EACH END OR AS NOTED WITH SIMPSON HHDQ8-SDS3. SILL PLATE BOLTS TO BE 5/8" @ 24" O.C.. SILL PLATE BOLTS AT NON SHEARWALLS LOCATIONS TO BE 5/8" @ 48" O.C.

UPPER FLOOR - OUTSIDE PANEL NAILING TO BE 6", INTERIOR SPACING TO BE 12". 4X6 AT EACH END. FLOOR-TO-FLOOR CONNECTION TO BE SIMPSON HHDQ8 W/ 7/8" THREADED ROD. FASTEN 7/8" ROD THROUGH STRUCTURAL RIM ABOVE GARAGE DOOR @ GRID 2 WHERE STRONG WALL PANELS ARE BELOW. NOTE: SHEARWALL DETAIL IS SIMILAR AT GRID 1.

NOTES:

1. *FLOOR SHEATHING SHALL BE 1 1/8" T&G APA STURDI-FLOOR, EXP. 1, STRUCTURAL 1, T&G W/ PANEL INDEX 48/24. LONG AXIS PERPENDICULAR TO JOISTS W/ TRANSVERSE JOISTS STAGGERED.*
2. *BEARING WALLS SHALL BE 2"X6" LUMBER BEAMS, SET @ 16" O.C., UNLESS OTHERWISE NOTED.*
3. *INTERIOR WALL SHALL BE 2"X4" LUMBER BEAMS, SET AT 16" O.C., UNLESS OTHERWISE NOTED.*
4. *FLOOR TO FLOOR STRAPPING TO BE SIMPSON CMST12, CLEAR SPAN +90", ON 8' CENTERS ALONG THE EXTERIOR WALLS.*
5. *ALL BEAMS MUST HAVE MINIMUM BEARING LENGTH OF 3"*
6. *INTERIOR HEADERS LOCATED W/IN A NON-BEARING WALL SHALL CONSISTS OF A (2) 2x8 HEADER SUPPORTED BY A (1) 2x (MIN.) JACK STUD @ BOTH ENDS.*
7. *CONTRACTOR TO VERIFY HANGER DIMENSION AND CONFIGURATIONS WITH SIMPSON PRIOR TO CONSTRUCTION. ADDITIONALLY, ALL JOIST HANGERS AND BEAM SUPPORTS SHALL BE APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.*

REVISIONS:

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

DRAWN BY: NMG
CHECKED BY: TSS
DATE: 3.6.23
PROJECT #: 222321.10

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3.6.23
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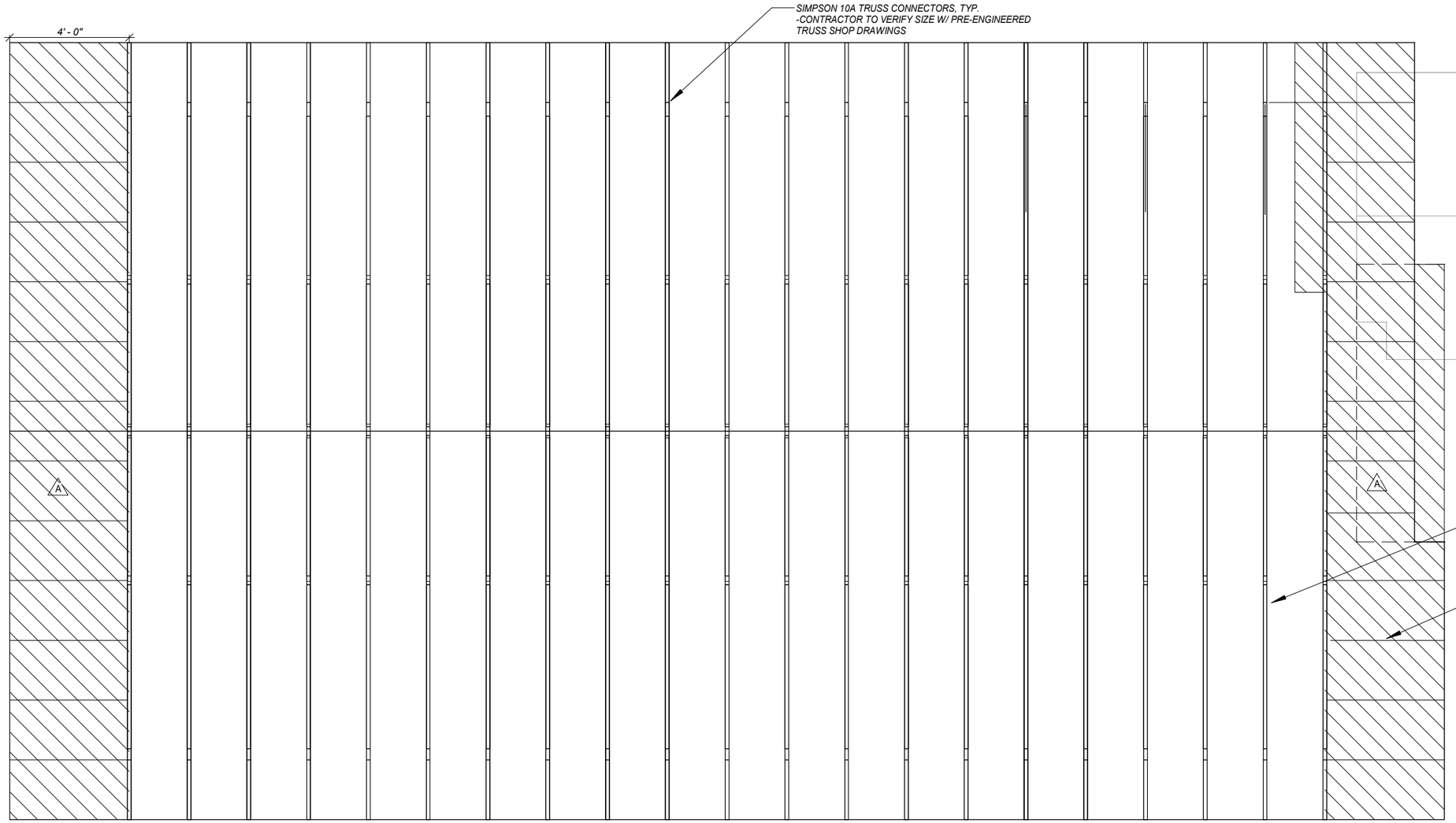
SHEET DESCRIPTION:
Upper Level Shearwall & Header Plan

S204

SHEET:
41 of 28



1 Roof Plan

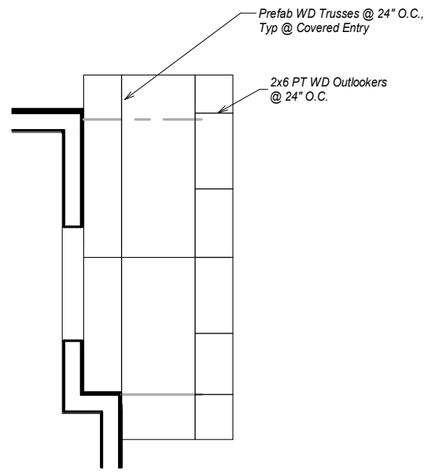
1/4" = 1'-0"

ROOF SHEATHING
19/32" APA CDX RATED SHEATHING w/ PANEL INDEX 40/20, EXTERIOR GLUE. LONG AXIS PERPENDICULAR TO TRUSSES w/ TRANSVERSE JOINTS STAGGERED.

DIAPHRAM SCHEDULE			
MARK	BOUNDARY NAILING	PANEL EDGE NAILING	FIELD NAILING
A	6"	6"	10"

DIAPHRAGM NOTES:

1. EXCEPT AS NOTED OTHERWISE, DIAPHRAGMS ARE UNBLOCKED.
2. ALL NAILS ARE TO BE 10d COMMON OR GALVANIZED BOX NAILS.
3. NAILS AT 6" O.C. AT SUPPORTED EDGES, 10d @ 10" O.C. IN THE FIELD, UNO.
4. AREAS DENOTED A ARE TO BE BLOCKED AT ALL PANEL EDGES w/ FLAT 2X6.



2 Roof Framing Plan @ Covered Entry

1/4" = 1'-0"

REVISIONS:
REV #5 3.17.22

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

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DATE: 3.6.23
PROJECT #: 222321.10

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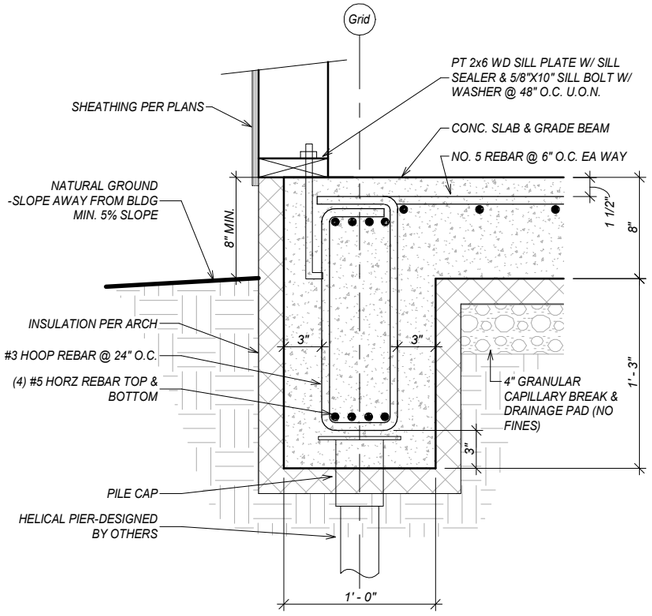
49th
TREVOR SANDE
CE 9778
3.6.23
REGISTERED PROFESSIONAL ENGINEER

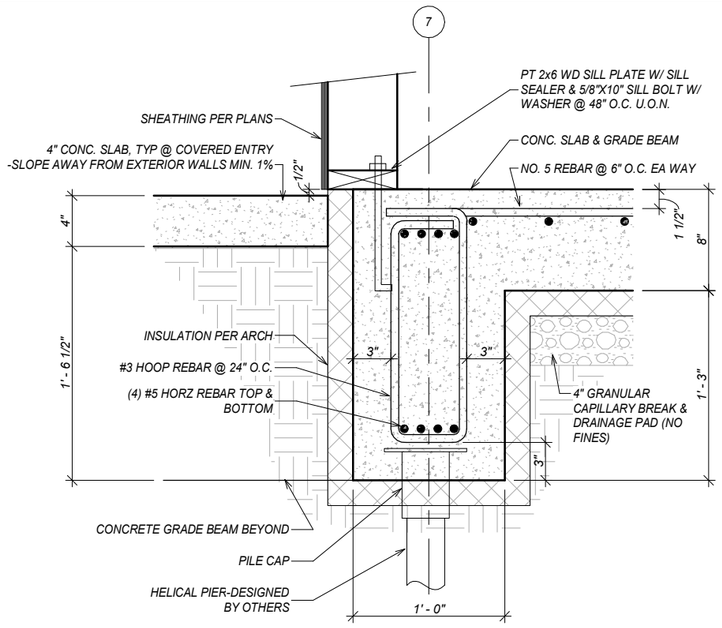
SHEET DESCRIPTION:
Roof Framing Plan

S205

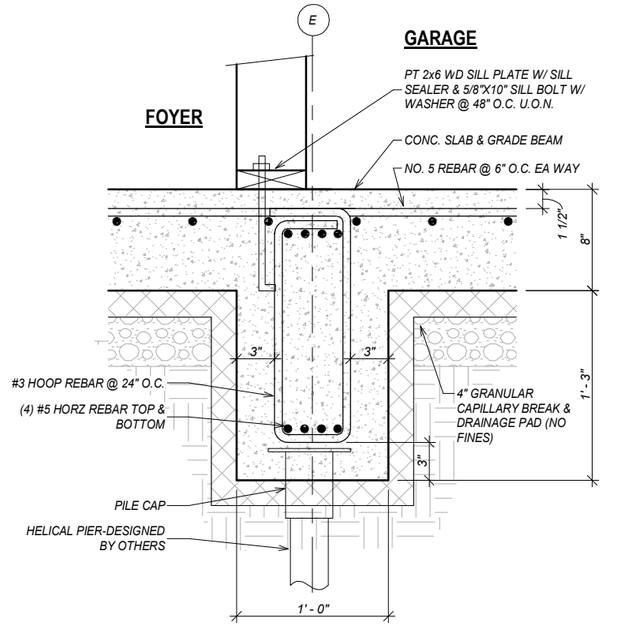
SHEET:
42 of 28



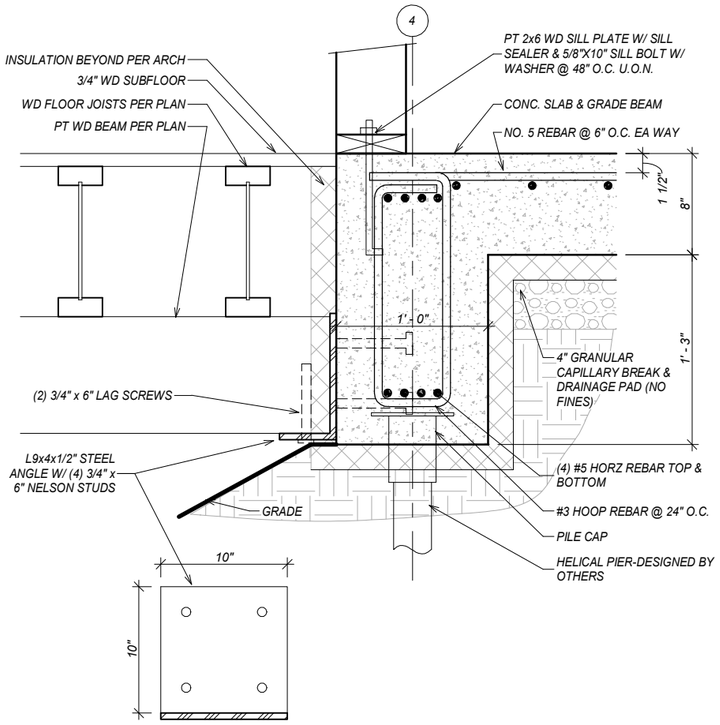
1 Typ. Grade Beam
1" = 1'-0"



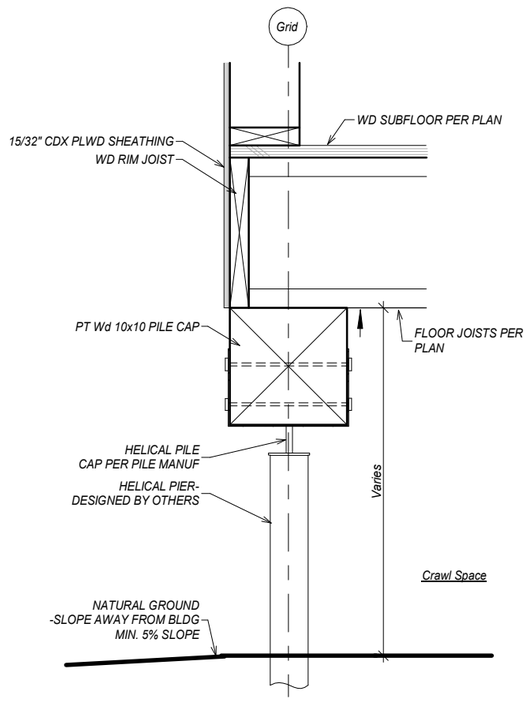
2 Grade Beam @ Covered Entry
1" = 1'-0"



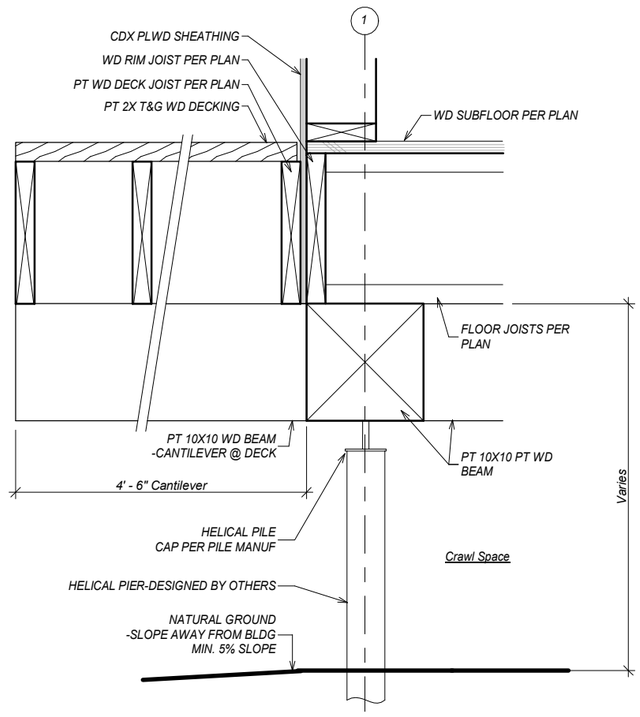
3 Grade Beam @ Grid E
1" = 1'-0"



4 Grade Beam @ Grid 4
1" = 1'-0"



5 Typ. Perimeter Beam
1" = 1'-0"



6 Typ. Beam @ Deck
1" = 1'-0"

REVISIONS:

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

DRAWN BY: NMG
CHECKED BY: TSS
DATE: 3.6.23
PROJECT #: 222321.10

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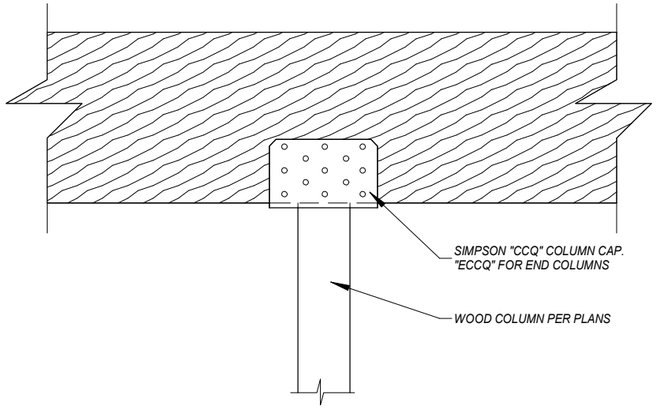
STATE OF ALASKA 49th TREVOR SANDE CE 9778 3.6.23 REGISTERED PROFESSIONAL ENGINEER

SHEET DESCRIPTION:
Structural Details

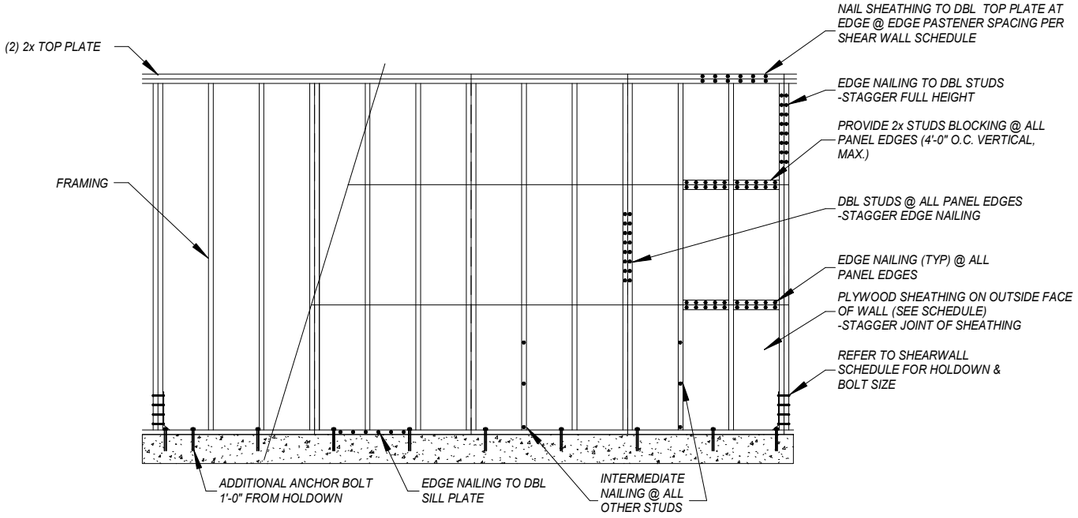
S300

SHEET:
43 of 28



1 Typ. Column to Beam Connection

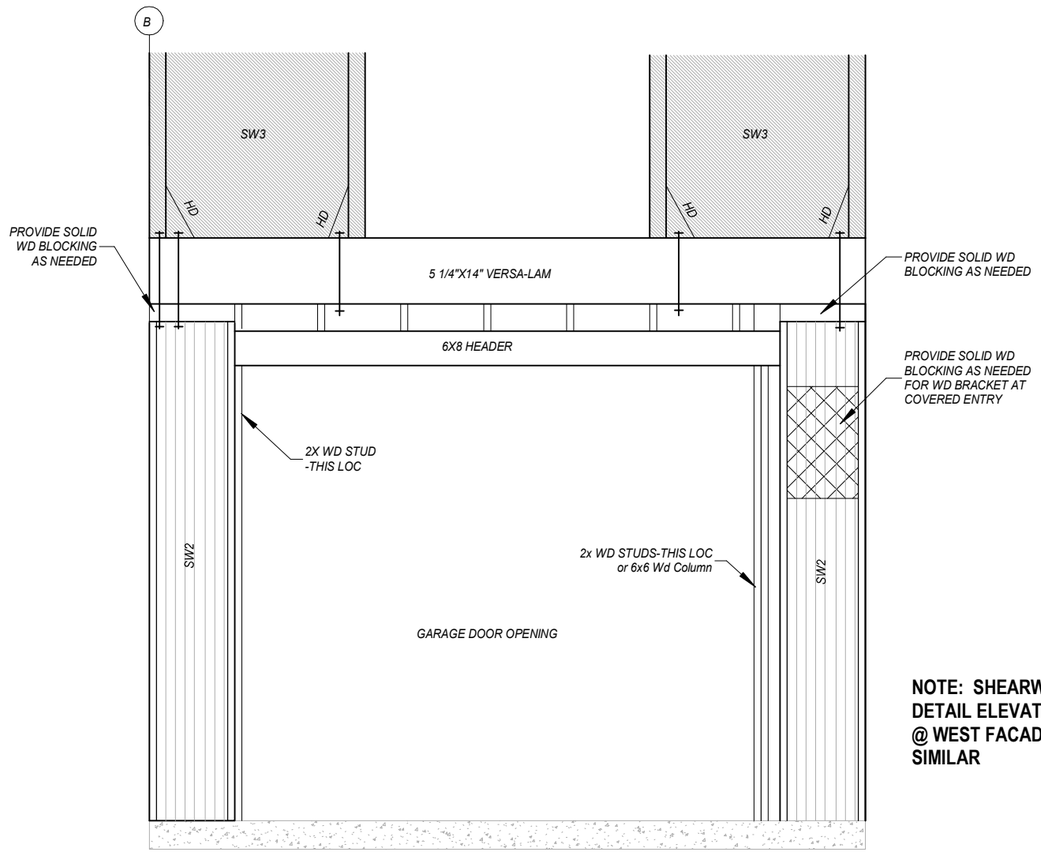
3/4" = 1'-0"



1. EXTERIOR PLYWOOD SHEATHING SHALL BE APA RATED, STRUCTURAL 1.
2. SEE SHEARWALL SCHEDULE FOR FASTENER SPACING REQUIREMENTS.
3. STRUCTURAL PLYWOOD APA RATED SHEATHING PERMITTED TO BE APPLIED EITHER PARALLEL OR PERPENDICULAR TO FRAMING, STAGGER JOINT OF SHEATHING.
4. FACE NAIL DOUBLE STUDS 16d AT 6" O.C. FOR SHEAR TRANSFER BETWEEN PANELS.
5. ANCHOR BOLT FOR SILL PLATE TO BE 5/8" SIMPSON AT MIN. EMBEDMENT 7" AT 2 FOOT CENTERS, ANCHOR BOLTS TO BE SPACED AT 4 FOOT CENTERS AT NON-SHEARWALL LOCATIONS.

3 Shearwall Detail

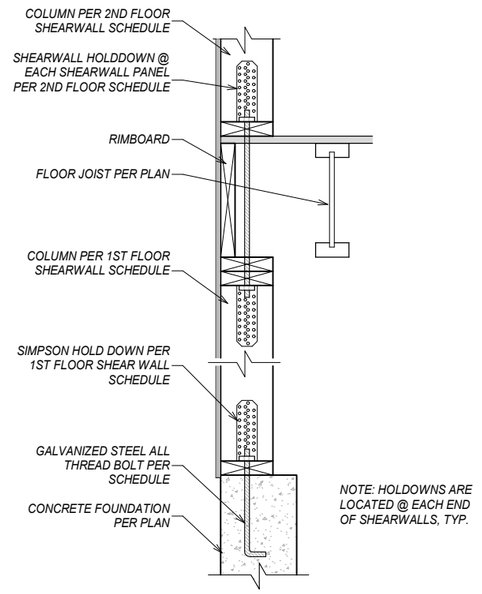
1/4" = 1'-0"



NOTE: SHEARWALL DETAIL ELEVATION @ WEST FACADE SIMILAR

2 SHEARWALL DETAIL ELEVATION @ GARAGE

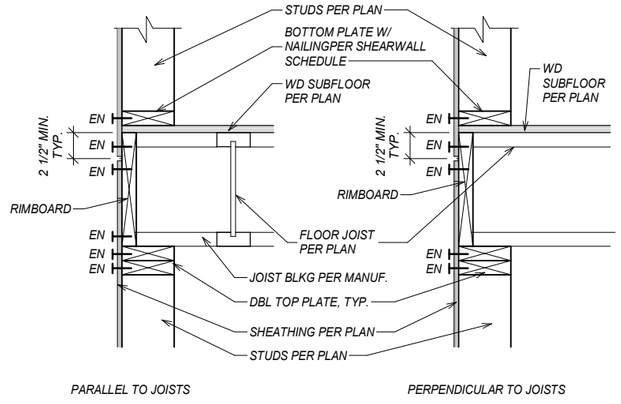
3/8" = 1'-0"



NOTE: HOLDOWNS ARE LOCATED @ EACH END OF SHEARWALLS, TYP.

4 Shearwall Holdown Detail

3/4" = 1'-0"



5 Edge Nailing Detail

3/4" = 1'-0"

REVISIONS:

THRHA
Single Family Dwelling

STATUS:
CONSTRUCTION DOCUMENTS

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CHECKED BY: TSS
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PROJECT #: 222321.10

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REGISTERED PROFESSIONAL ENGINEER

SHEET DESCRIPTION:
Structural Details

S301

SHEET:
44 of 28